



WAIMAKARIRI
DISTRICT COUNCIL

BC No: 180913

SITE DETAILS:

55 MANDEVILLE PARK DRIVE

MANDEVILLE NORTH

LEGAL:

LOT 27 DP 448155

**APPROVED BUILDING CONSENT DOCUMENTS AND PLANS
(FULL SET SUPPLIED)**

- ON SITE COPY -

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

INSPECTIONS

for bookings or building enquiries

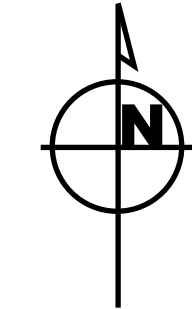
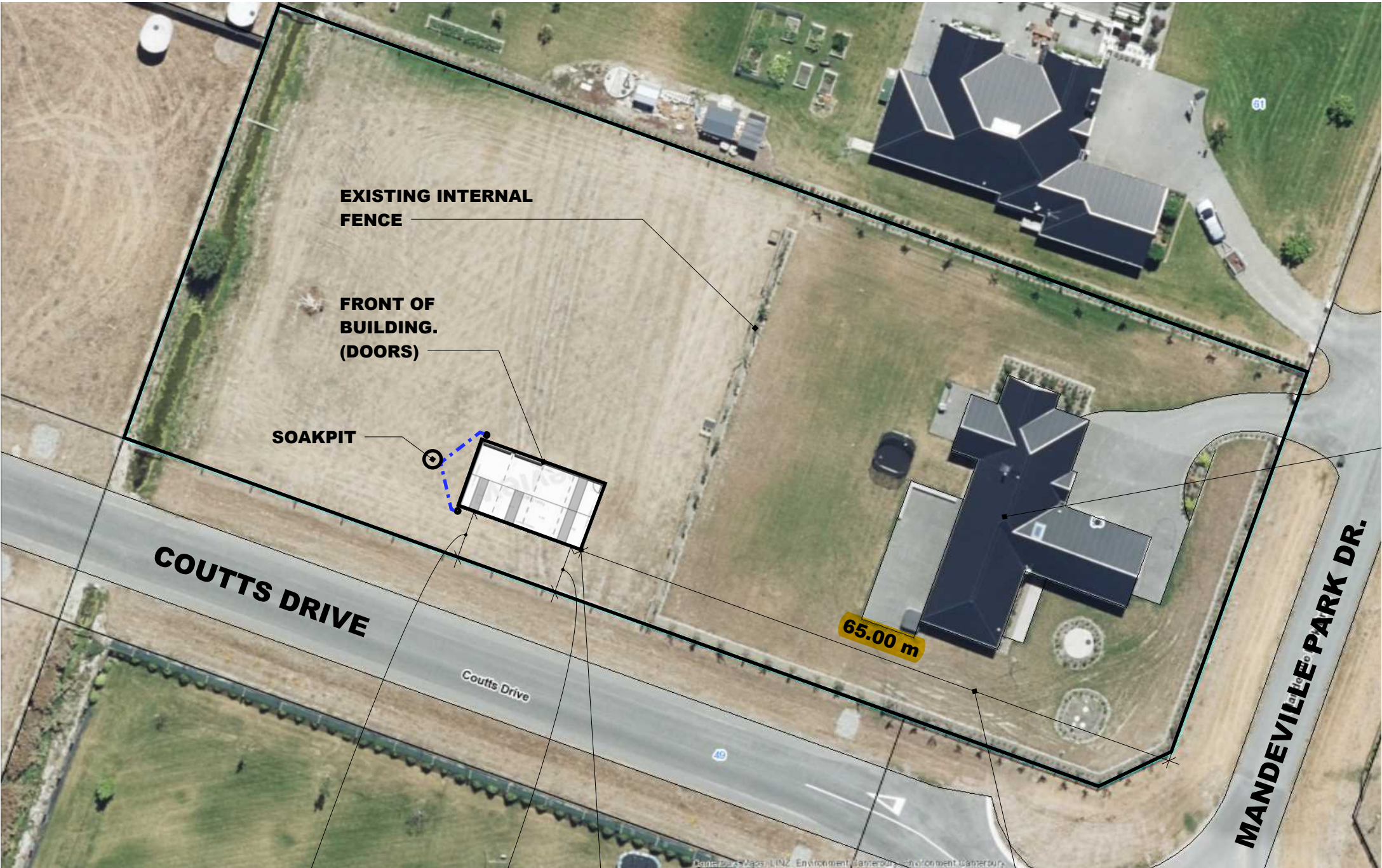
please phone the BUILDING UNIT on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- 2-3 working day's notice should be given and provision made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed
 - Audit of WDC building consent file has been completed
 - Payment of any outstanding invoices is received



EXISTING
RESIDENCE

COUTTS DRIVE

MANDEVILLE PARK DR.

65.00 m

5.00 m

5.00 m

PROPOSED NEW GARAGE
13.712 m x 7.376 m

2 x 65 mm DOWNPIPES TO
CONNECT INTO A 100 mm
uPVC STORMWATER PIPE
AND GO AT 1:100 FALL
INTO A NEW SOAKPIT.

65.00 m FROM MANDEVILLE PARK
DRIVE BOUNDARY.

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FFL TO BE 100 mm ABOVE CGL.	
SITE IS FULLY FENCED TO COMPLY WITH F5 REQUIREMENTS.	



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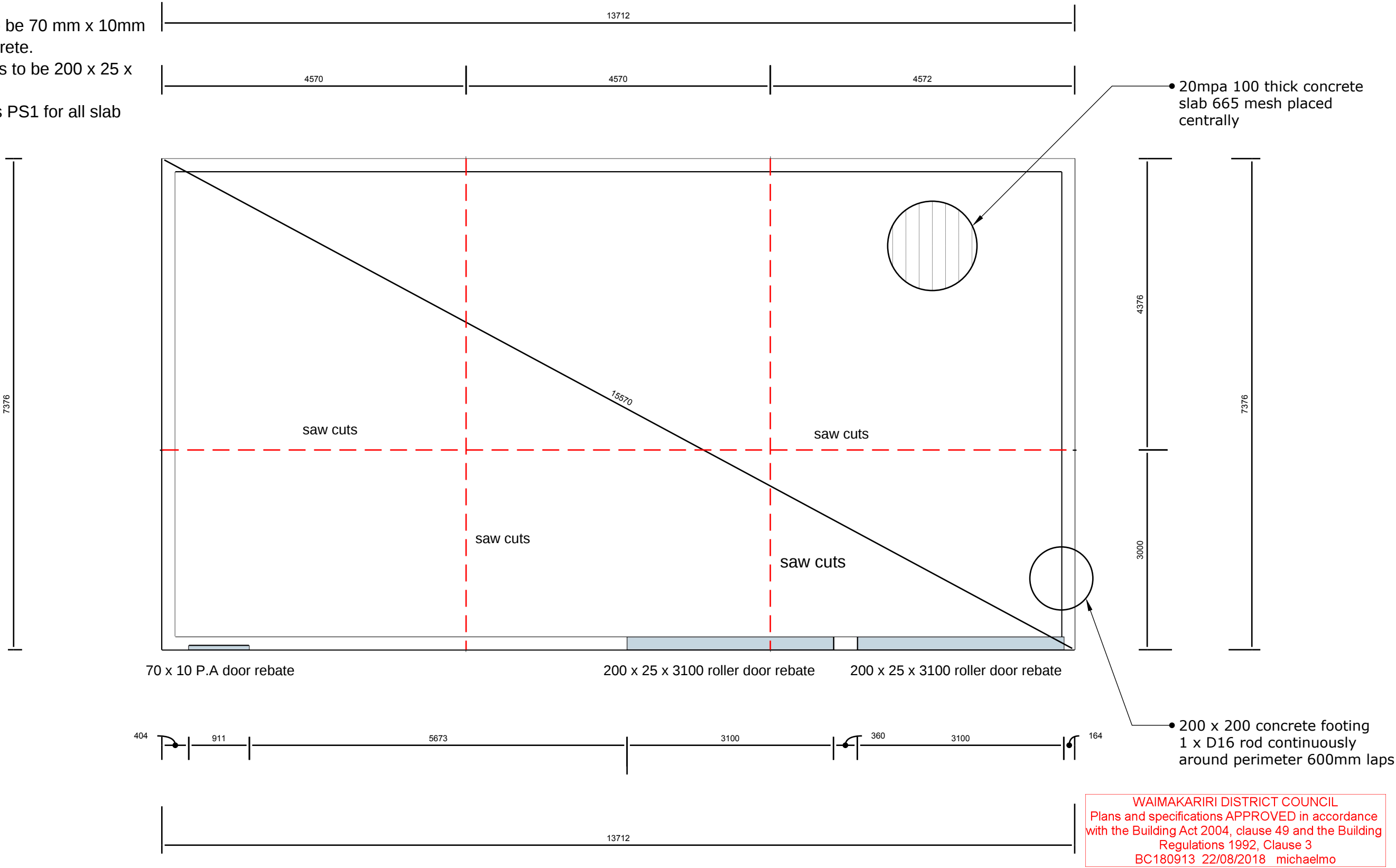
Legal Description:	LOT 27 DEPOSITED PLAN 448155
Owners:	HUDSON PROJECT

Building Use:	PROPOSED NEW GARAGE
Address:	55 MANDEVILLE PARK DRIVE

Drawing Title:	SITE PLAN	
Scale:	1:500	Sheet:
Date:	25/07/2018	A1 OF 1

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING. ALL DIMENSIONS MM UNLESS STATED.

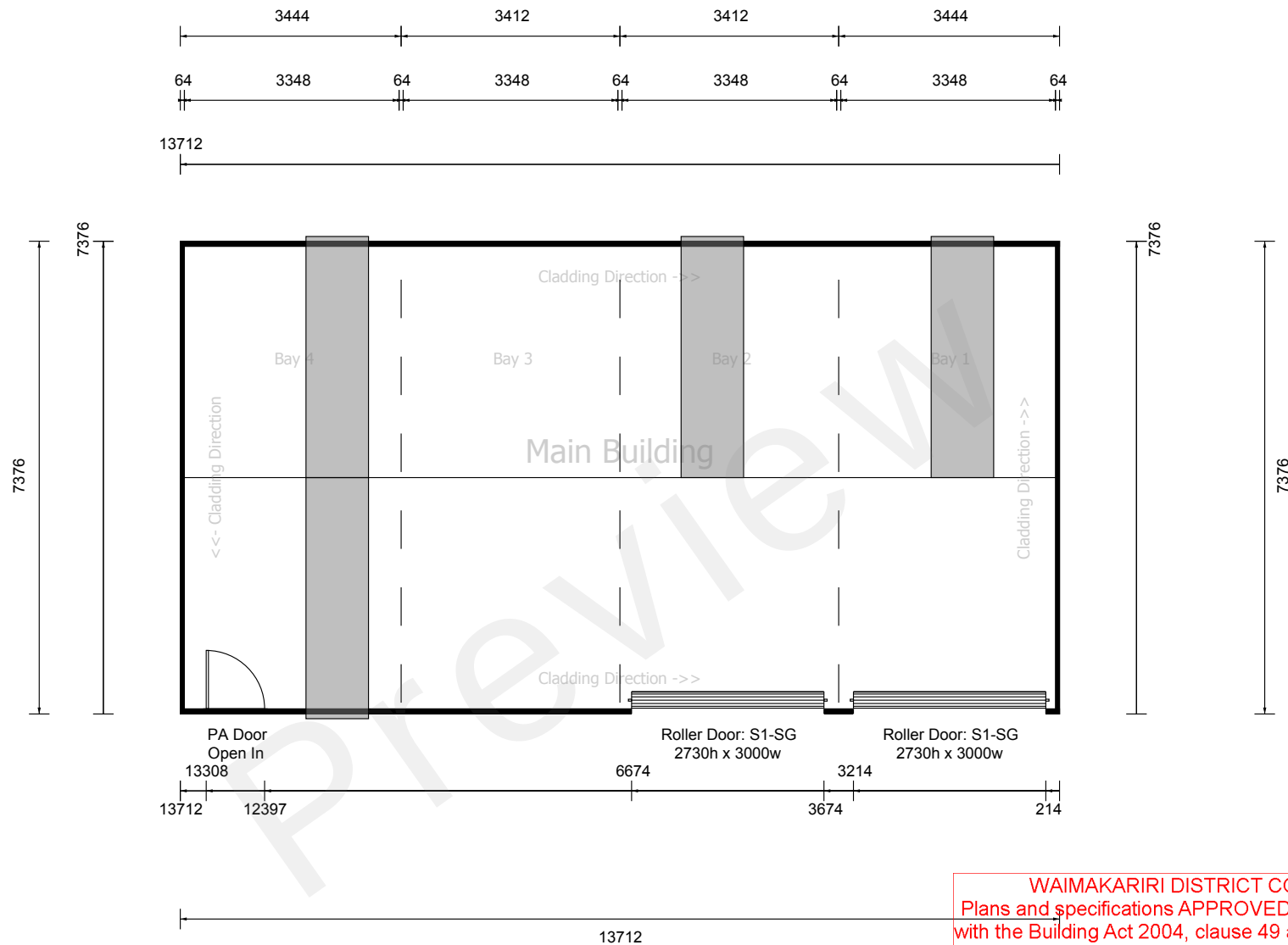
- Notes:
- 1) FFL to be a minimum of 100mm above highest point of ground level.
 - 2) Saw cuts in red.
 - 3) P.A door rebate to be 70 mm x 10mm slope formed in concrete.
 - 4) Roller door rebates to be 200 x 25 x 3100.
 - 5) Refer to engineers PS1 for all slab construction details.



BUILDING PROPOSED FOR:
Nigel Hudson
55 Mandeville Park Drive
Swannanoa 7692

DRAWING TITLE:
Slab Plan

DRAWN: JWP
SCALE: NTS
DATE: 26/7/2018



QikDRAW
Rear Side
Left Side ☐ Right Gable
Front Side

Project No.: 1478745



Totalspan North Canterbury
P O Box 58
7641
03 310 0247
northcanterbury@totalspan.co.nz

For: Nigel Hudson
55 Mandeville Park Drive
Swannanoa
7692

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VIEWS
2
3 X 1
4

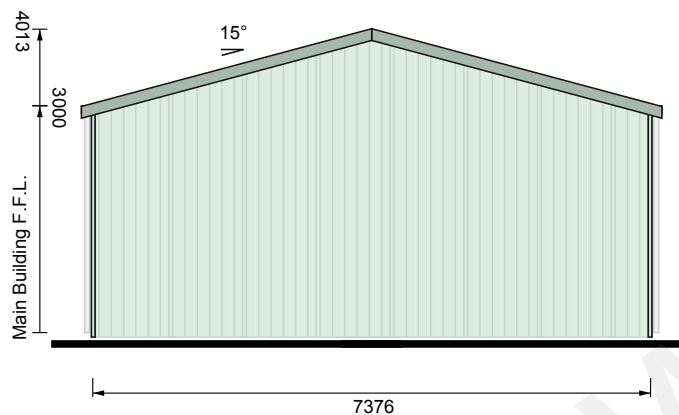
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ARCHITECTURAL DETAILS FLOOR PLAN

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CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE AT TIME OF CONSTRUCTION

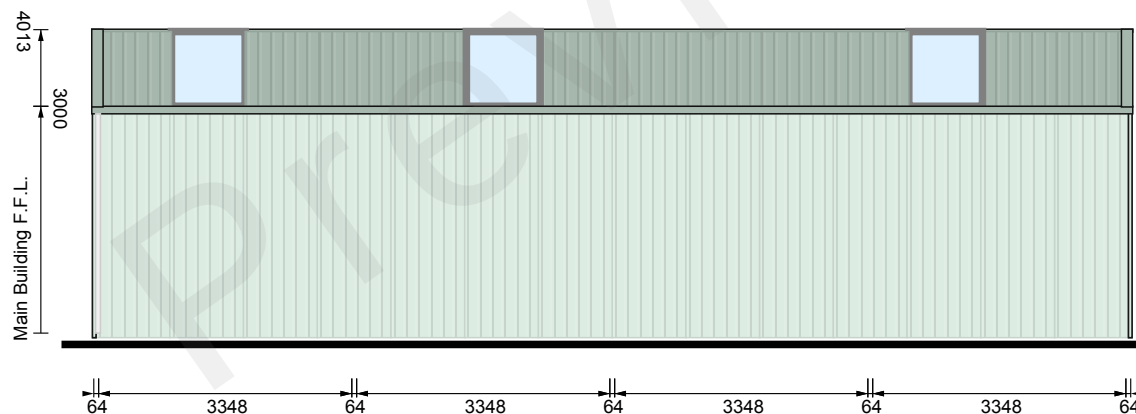
Page 1 of 3

VIEW 1



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VIEW 2



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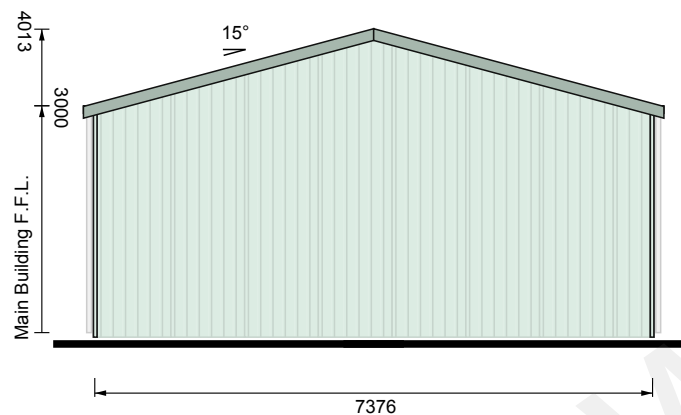
For: Nigel Hudson
55 Mandeville Park Drive
Swannanoa
7692

Scale: 1:100

ARCHITECTURAL DETAILS ELEVATIONS

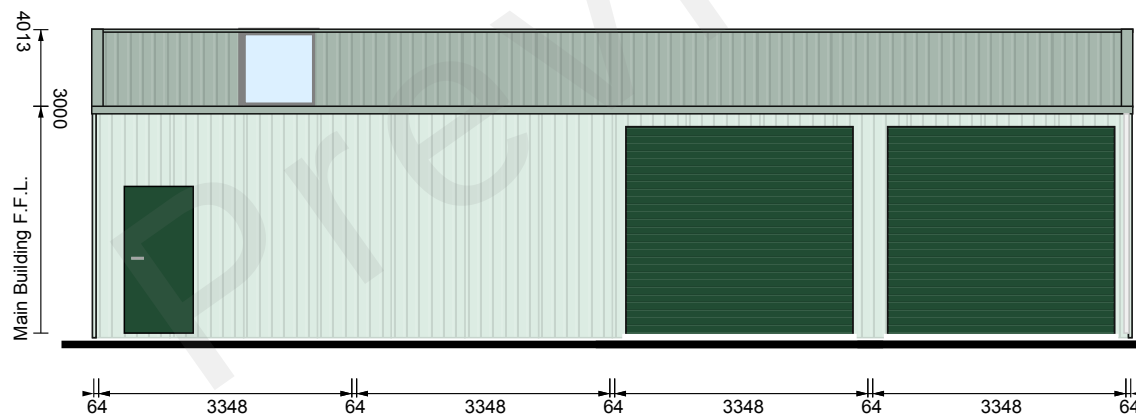
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VIEW 3



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VIEW 4



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For: Nigel Hudson
55 Mandeville Park Drive
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Scale: 1:100

ARCHITECTURAL DETAILS ELEVATIONS

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TS12000 PORTAL BUILDING
 Producer Statement and Structural Details
 (IL1, Non-habitable, Unlined, Enclosed)

CLIENT:

Nigel Hudson
 55 Mandeville Park Drive
 Swannanoa
 7692
 New Zealand

 -43.387584, 172.523728

BUILDING:

Project Reference: 1478745
 Wind Speed: Vdes theta = 37.31m/s
 Ground Snow Load: Sg = 0.90kPa
 Span: 7.376m
 Length: 13.712m
 Knee Height: 3.000m
 Bay Size: 3.444m, 3.412m, 3.412m, 3.444m
 Roof Pitch: 15
 Area: 101.140m²

NOTES

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Cover Page (this page)
 Producer Statement
 Manufacturers Statement: Durability
 Specifications: Building Table, Sheeting Properties and Notes
 Specifications: Section Properties
 Site Plan
 Foundation Plan and Details
 Roof Framing Plan
 Portal Frame Cross Sections
 Bracing Details
 Roof and Wall Bracing Layout
 Details: Building
 Details: Flashings

 Attached:
 Building Plan and Elevations

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[NB: B2 aspects to be covered
by Totalspan's Manufacturers
Durability Statement, page 3]

Building Code Clause(s)..... **B1**

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY: **Transparency Consulting Ltd**
.....
(Design Firm)

TO: **Nigel Hudson**
.....
(Owner/Developer)

TO BE SUPPLIED TO: **Waimakariri District Council**
.....
(Building Consent Authority)

IN RESPECT OF: **12m Span Portal Building and under (IL = 1, DL = 50yrs, Sg = 0.90kPa, Vdes Ø = 37.31m/s)**
.....
(Description of Building Work)

AT: **55 Mandeville Park Drive, Swannanoa, 7692, New Zealand**
.....
(Address)

..... **LOT:** **DP:** **SO:**

We have been engaged by the owner/developer referred to above to provide **Structural Design**
.....
..... services in respect of the requirements of
(Extent of Engagement)

Clause(s) **B1** of the Building Code for
All ☒ or Part only ☐ (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment. **B1/VM1, AS/NZS 1170**
NZS 3101, AS/NZS 4600
..... (verification method / acceptable solution) OR

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled **Portal Building**
.....
..... and numbered **1-2, 4-5, 7-15**
..... ;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions **225kPa Geotechnical Ultimate Bearing Capacity**
non-liquefiable soil
.....

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. ~~I also recommend the following level of construction monitoring/observation:~~

~~☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)~~

I, **Andrew James Horton** am: ☒ CPEng **181283** #
(Name of Design Professional)

☐ Reg Arch #

I am a Member of : ☒ IPENZ ☐ NZIA and hold the following qualifications: **BE (Hons)**
The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY **Andrew James Horton** ON BEHALF OF **Transparency Consulting Ltd**
.....
(Design Firm)

Date **20/July/2018** (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

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Plans and specifications APPROVED in accordance
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MANUFACTURERS STATEMENT - DURABILITY

Cladding

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the cladding material meets a **15-year durability** and a 50 year intended working life (design life), the following provisions must apply:

Cladding Range of Product and Use

- Coating Type: Zinc/Aluminium & Painted (Coloured Steel).
- Steel thickness range: 0.35mm - 0.55mm BMT
- Steel grade range: G300 - G550
- Application: Standard Totalspan Roof and Wall Cladding
- Profile: Totalspan 7 Rib, Totalspan 6 Rib, Totalspan Corrugate

Requirements, Limitations and Exclusions

- Fixing and installation of the cladding must be done exactly in accordance with Totalspan Buildings instructions and specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- **Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3**
- **Corrosion Zones B and C.. (*Reference NZS 3604:2011 Corrosion Zone Figure 4.2)**
Rain-washing only required on **exposed** (open to airborne salts and rain wetting) material. **Sheltered** (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months.
- **Sea Spray Zone D (Includes all off-shore islands, the area within 500m of the coastline of New Zealand, and those areas shown in white - *Reference NZS 3604:2011 Figure 4.2) and areas of Geothermal Activity (*Reference NZS 3604:2011 4.2.4 (c)).**
Rain-washing only required on **exposed** (open to airborne salts and rain wetting) areas. **Sheltered** (open to airborne salts, but not rain washed) and protected areas such as under spouting, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

Extended Durability

Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.

Evident Corrosion

- Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.
- Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

Steel Framing

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the structural framing material meets a **50-year durability** life the following provisions must apply:

Steel Framing Range of Product and Use

- Coating Type: Galvanised
- Steel thickness range: 0.75mm – 2.4mm BMT
- Steel grade range: G450 – G550
- Application: Standard Totalspan Purlins, Girts, Portal Frames, Door Jambs, Wall Uprights, Bridging
- Profile: C Sections – 80x40, 150x64, 220x64, 250x85
Z Sections – 100x53, 150x65
Tophat Sections – 100x163, 120x170, 150x183

Awnings/Garaports attached to Base Buildings

- Where sections are exposed to or located in salt marine, corrosive industrial or unusually high corrosive environments **the below Regular Maintenance must be adhered to**. Please contact the manufacturer for specialist advice if unsure of requirements.
This also applies to all Steelwork that is exposed to the wind but is protected from the rain located in an open sided structure such as carports, awnings or structures closed in on one side only.
Maintenance is necessary when the Galvanised coating ceases to provide sacrificial protection to the steel base, or where the appearance is no longer aesthetically acceptable. Rust staining or the growth of rust spots usually indicates the breakdown of Galvanised coating. At the first sign of breakdown, the surface should be treated with an appropriate maintenance coating system. All maintenance should be carried out in accordance with AS/NZS 2312:2002 (Incorporating Amendment No. 1) [c] and New Zealand Steelwork Corrosion Coatings Guide (HERA Report R4-133) [d].

Regular inspections of the steel work and maintenance at the first signs of a problem will extend the durability of the sections. If any of the structure components show signs of corrosion during normal maintenance these are also easily accessible and simple to replace.

Regular Maintenance

- **Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3**
- **Corrosion Zones B and C. (*Reference NZS 3604:2011 Corrosion Zone Figure 4.2)**
Rain-washing only required on **exposed** (open to airborne salts and rain wetting) material. **Sheltered** (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months.
- **Sea Spray Zone D (Includes all off-shore islands, the area within 500m of the coastline of New Zealand, and those areas shown in white - *Reference NZS 3604:2011 Figure 4.2) and areas of Geothermal Activity (*Reference NZS 3604:2011 4.2.4 (c)).**
Rain-washing only required on **exposed** (open to airborne salts and rain wetting) areas. **Sheltered** (open to airborne salts, but not rain washed) and protected areas such as under spouting, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

References

1. NZBC – Compliance Document – Clause B2 - Durability
2. NZS 3604, Clause 4, Durability*

* - Totalspan Buildings acknowledges and understands that NZS 3604 is a Timber Framed Building standard. Totalspan Buildings has used NZS 3604 as a reference only to identify Corrosion Zones, Sea Spray Zones and areas of Geothermal activity.

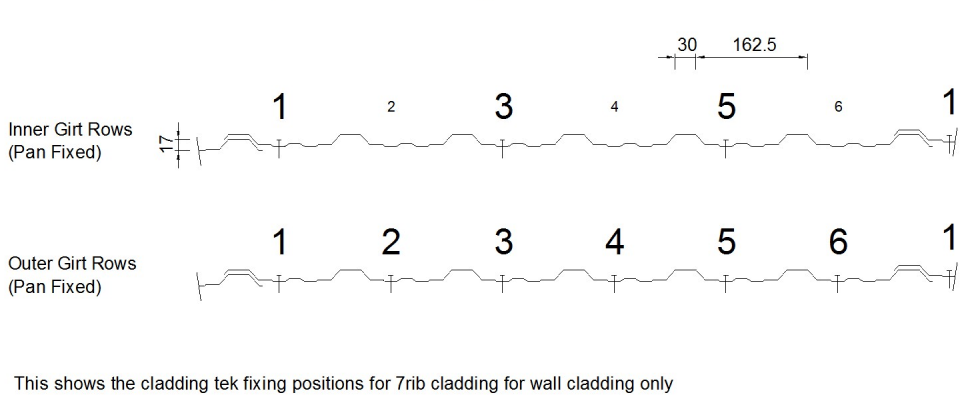
Totalspan Buildings
112 Waterloo Rd
Sockburn
CHRISTCHURCH

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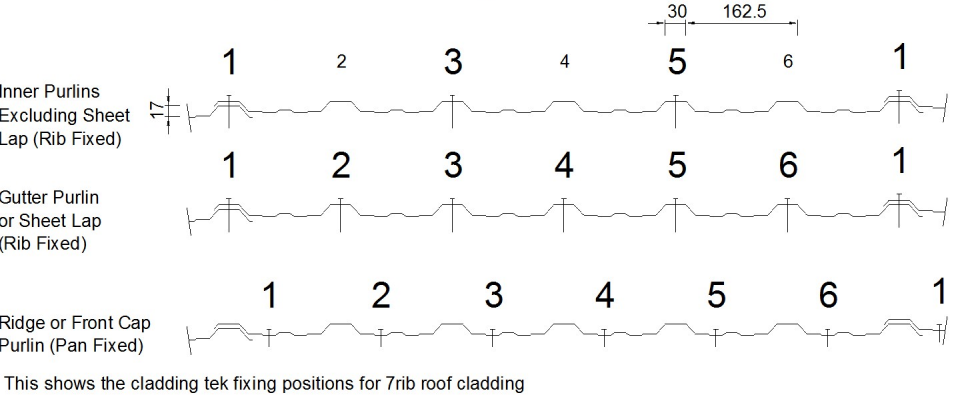
Building Tables

Span:	7.4m
Knee Height:	3.0m
Bay Size:	3.5m (Nominal)
Internal Portal Frame:	B15015
End Wall Portal Frame	C15015
End Wall Post On Edge:	C15010
Lintel:	N/A
End Entry Jamb(s):	N/A
Side Entry Jamb(s):	C15015
Under Lintel Jamb(s):	N/A
Inner Purlins:	B80x40x0.75
Ridge & Gutter Purlins:	C80x40x0.75
Purlin Rows:	10 (960 max crs)
Side Wall Girts:	B80x40x0.75(1)
End Wall Girts:	C80x40x0.75
Side Wall Girt Rows:	3 (1500 max crs)
(incl. gutter purlin)	

7 Rib Wall Sheet Properties and Fixings



7 Rib Roof Sheet Properties and Fixings



GENERAL

- 1 - All work shall conform to the New Zealand Building Code.
- 2 - Check diagonals to ensure building is square.

LOADINGS

- 1 - Buildings are designed to AS/NZS 1170 for:
 - wind speed, $V_{des, \theta}$ = 37.31m/s
 - roof live load, Q_{roof} = 0.25kPa
 - ground snow load, S_g = 0.9kPa
- 2 - Roof is not designed for point loads of 0.9KN.

FOUNDATIONS

- 1 - Support ground to have at least a 225kPa geotechnical ultimate bearing capacity non-liquefiable soil.
- 2 - Screwbolts to be:
 - M10 x 75 Excalibur HSB (Galv.)
 - M12 x 150 Excalibur HSB (Galv.)

CONCRETE SLAB

- 1 - Remove vegetation, top soil and loose material from the site of the building, backfill with compacted hardfill and lay a blinding of sand to the underside of the concrete slab and edge thickening. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
- 2 - Concrete shall have a maximum aggregate size of 20mm, slump of 80mm maximum and a 20MPa compression strength at 28 days.

STEELWORK

- 1 - All structural framing members shall be:
 - G550 (0.75mm or 0.95mm BMT), G500 (1.15mm or 1.45mm BMT) or G450 (1.85mm or 2.41 BMT) grade steel galvanised to Z275.
- 2 - All plates and angle brackets to be G250, G300 and G450, Z275.
- 3 - Boxed members to be flange fixed with Tek screws as detailed on Section Properties page.
- 4 - Screws to be #10 x 16 or #12 x 32 Tek screws Class 3 zinc plated, fixed at a minimum edge distance of 10mm and to a 15mm minimum pitch.
- 5 - 80 x 40 tabbed channels to be connected with 2-#10 x 16 or 2-#12 x 32 Tek screws per tab.
- 6 - Knee braces and apex ties to be 150 x 55 x 1.55 BMT (G300) angles.
- 7 - Frame personnel doors and windows with single or boxed 80 x 40 x (0.75 or 0.95) BMT lipped channels.*
- 8 - Steelwork shall conform to:
 - AS/NZS 4600 Cold Formed Steel Structures Code
 - AS 1397:2011
 - AS 1562 Design and Installation of Metal Roofing
 - AS 1111/1112 Hex Commercial Bolts and Screws

*PA door jambs to be B80x40x0.75

CLADDING

- 1 - Wall and roof sheeting shall be G550 grade steel zincalumed to Z275 and rolled to profile as either 7 rib 0.35 BMT, 6 rib 0.40 BMT or corrugate 0.40 BMT.
- 2 - Roof sheets shall be fixed to ridge and eaves purlins with a Tek screw at every rib and at non-ridge and non-eave purlin locations to alternative ribs. Roof Tek's shall be complete with neoprene washers tightened firmly but not to form depressions in the roof cladding. Ensure all roof fixings are waterproof.
- 3 - Ridges, gables and all penetrations to be flashed with similar sheet steel.
- 4 - Guttering to be fixed with Tek screws and joint sealed with silicone. Fit downpipes to guttering to discharge to an approved stormwater drainage system.

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TOTALSPAN
 A Division of Spanbild New Zealand Ltd
 112 Waterloo Road, Hornby,
 P.O.Box 11-013, Christchurch

For: Nigel Hudson
 55 Mandeville Park Drive
 Swannanoa
 7692
 New Zealand

PORTAL BUILDING
SPECIFICATIONS

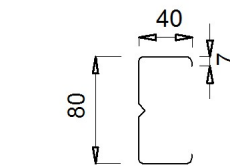
SPECIFICATIONS

ABBREVIATION KEYS

Section Sizes & B.M.T.		
Key	Description	Boxing Tek
C80-75 / B80-75	Single / Boxed - 80x40 0.75mm	#10x16
B80x60-75	Boxed - Unlipped 80x60 0.75mm	#10x16
C150-10 / B150-10	Single / Boxed - 150x64 0.95mm	#10x16
C150-12 / B150-12	Single / Boxed - 150x64 1.15mm	#10x16
C150-15 / B150-15	Single / Boxed - 150x64 1.45mm	#10x16
C150-19 / B150-19	Single / Boxed - 150x64 1.85mm	#12x32
C220-10 / B220-10	Single / Boxed - 220x64 0.95mm	#10x16
C220-12 / B220-12	Single / Boxed - 220x64 1.15mm	#10x16
C220-15 / B220-15	Single / Boxed - 220x64 1.45mm	#10x16
C220-19 / B220-19	Single / Boxed - 220x64 1.85mm	#12x32
C250-15 / B250-15	Single / Boxed - 250x85 1.45mm	#10x16
C250-19 / B250-19	Single / Boxed - 250x85 1.85mm	#12x32
C250-24 / B250-24	Single / Boxed - 250x85 2.35mm	#12x32
C300-15 / B300-15	Single / Boxed - 300x100 1.45mm	#10x16
C300-19 / B300-19	Single / Boxed - 300x100 1.85mm	#12x32
C300-24 / B300-24	Single / Boxed - 300x100 2.35mm	#12x32

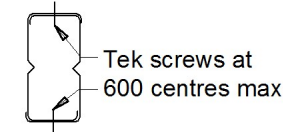
Denotes B.M.T. Abbreviation

C80 Section Properties

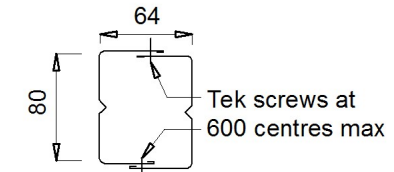


BMT
0.75
0.95

Single C80 lipped section (C80##)

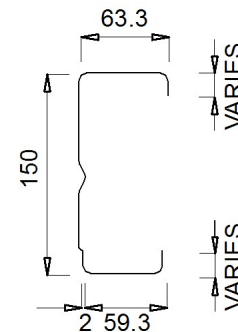


Boxed C80 lipped section (B80##)



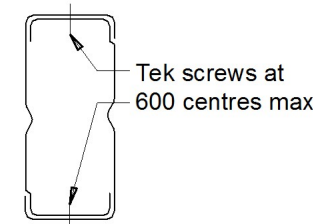
Boxed C80 unlipped section (B80##[64])

C150 Section Properties



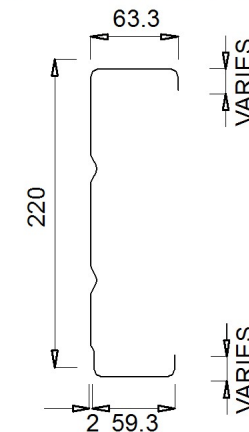
BMT
0.95
1.15
1.45
1.85

Single C150 section (C150##)



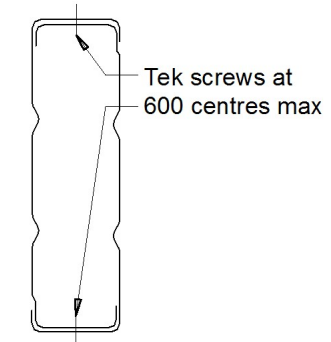
Boxed C150 section (B150##)

C220 Section Properties



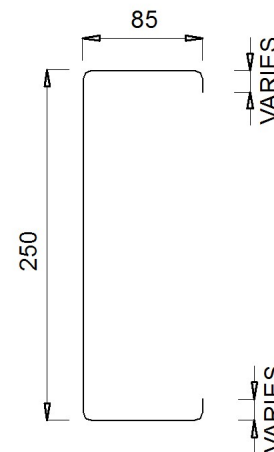
BMT
1.15
1.45
1.85

Single C220 section (C220##)



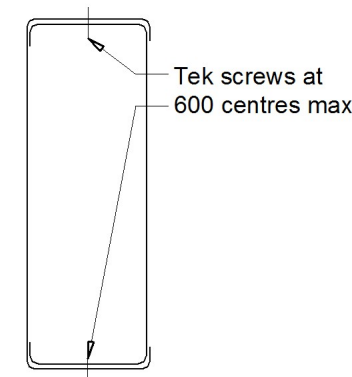
Boxed C220 section (B220##)

C250 Section Properties



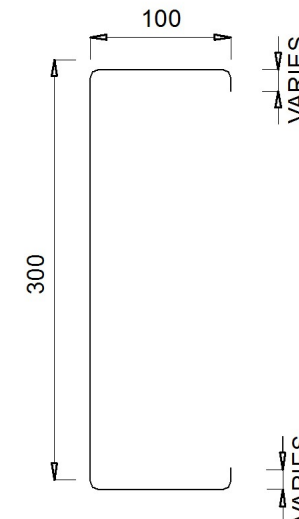
BMT
1.45
1.85
2.35

Single C250 section (C250##)



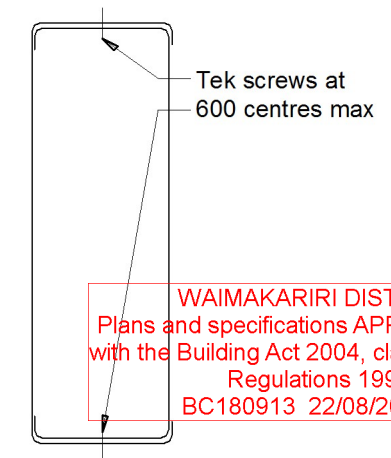
Boxed C250 section (B250##)

C300 Section Properties



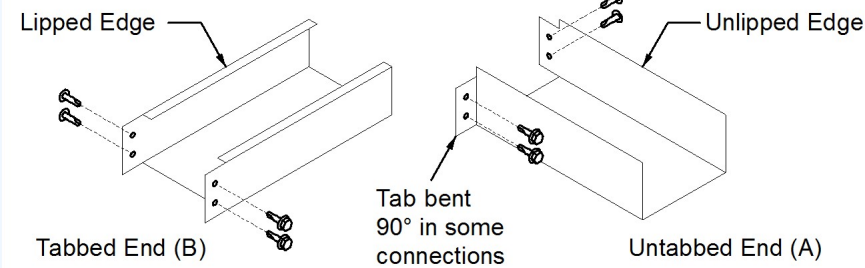
BMT
1.45
1.85
2.35

Single C300 section (C300##)



Boxed C300 section (B300##)

80x40 Section Properties



Cross Section Tab & Connection Indicators



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PORTAL BUILDING

SPECIFICATIONS

Page 5 of 16

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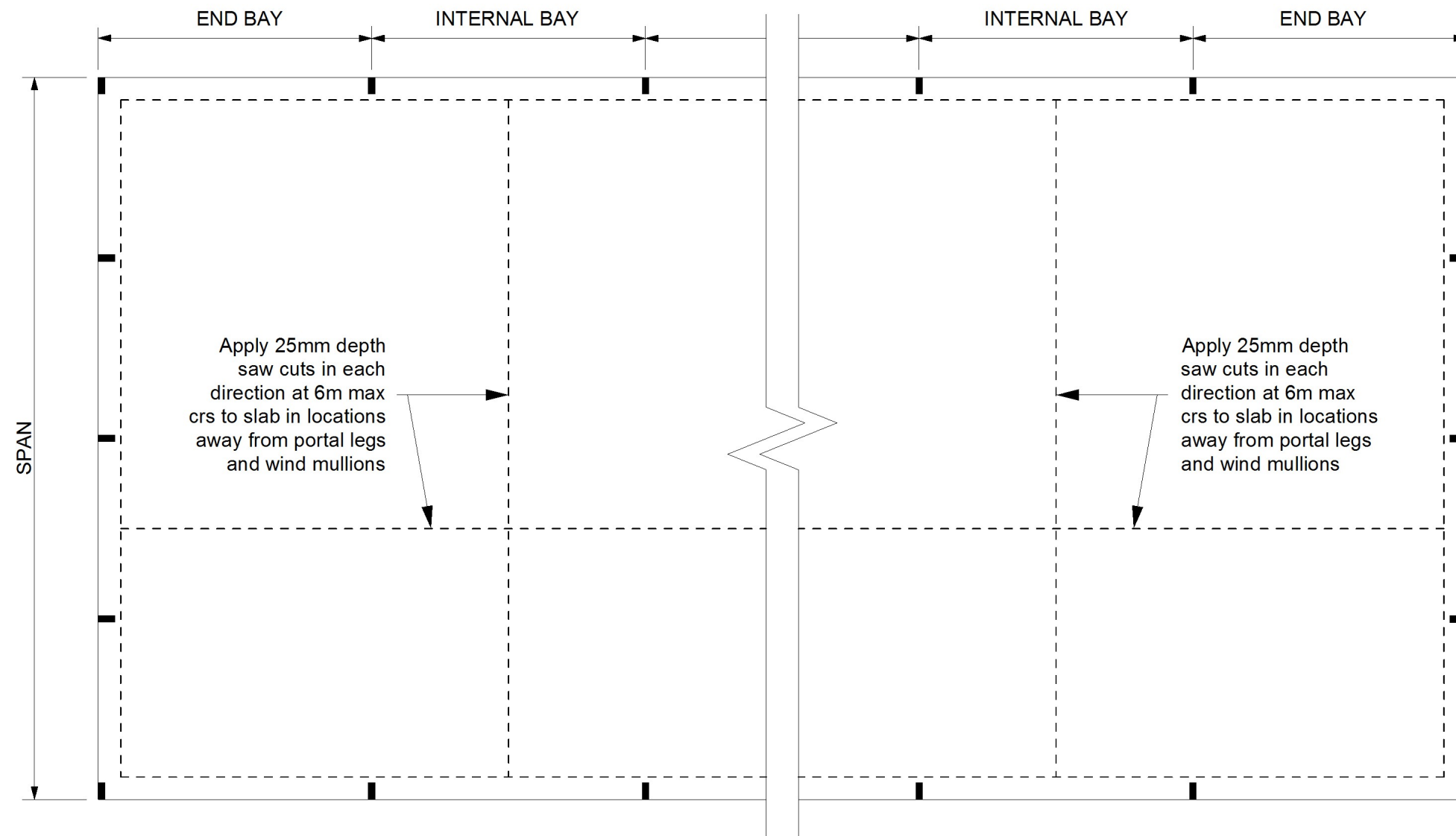


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PORTAL BUILDING

Site Plan



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TYPICAL CONCRETE SLAB PLAN



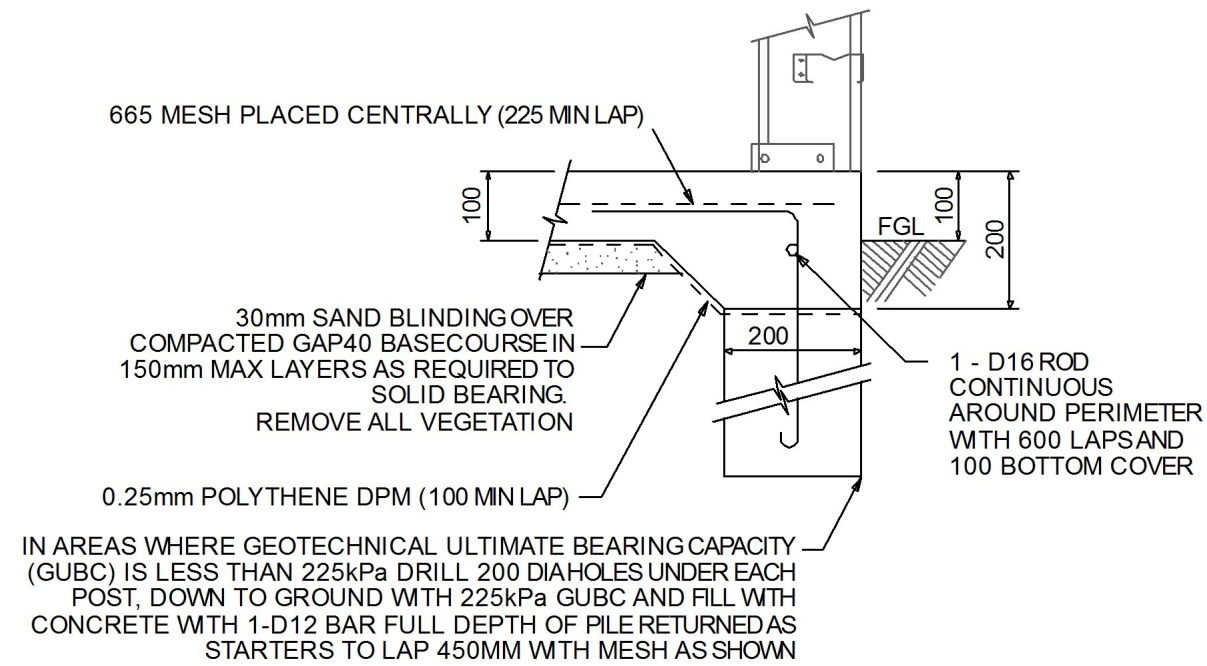
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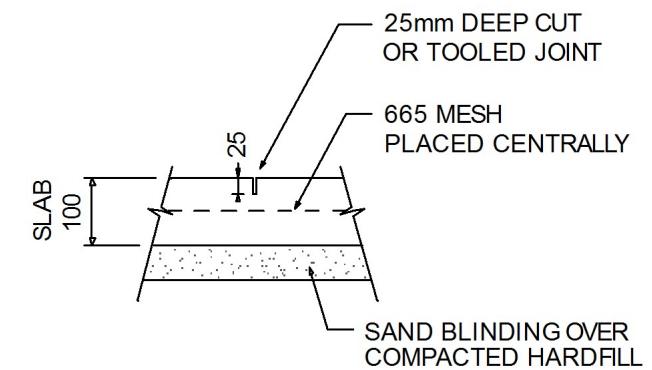
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PORTAL BUILDING

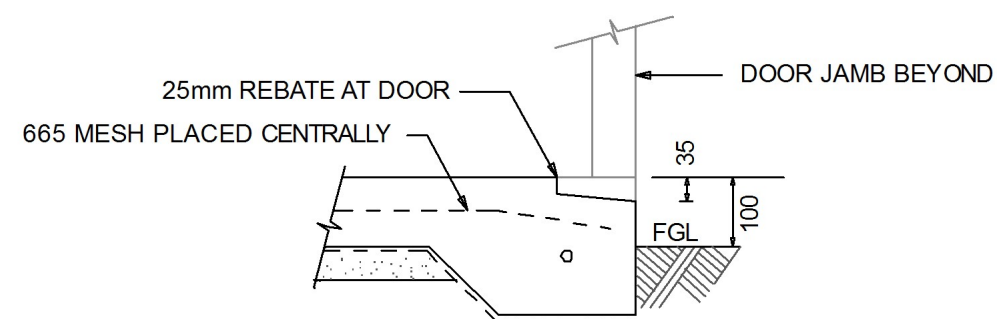
FOUNDATION PLAN



FOUNDATION FOOTING



CONTROL JOINT DETAIL (TYP.)



DOOR ENTRY SLAB EDGE DETAIL

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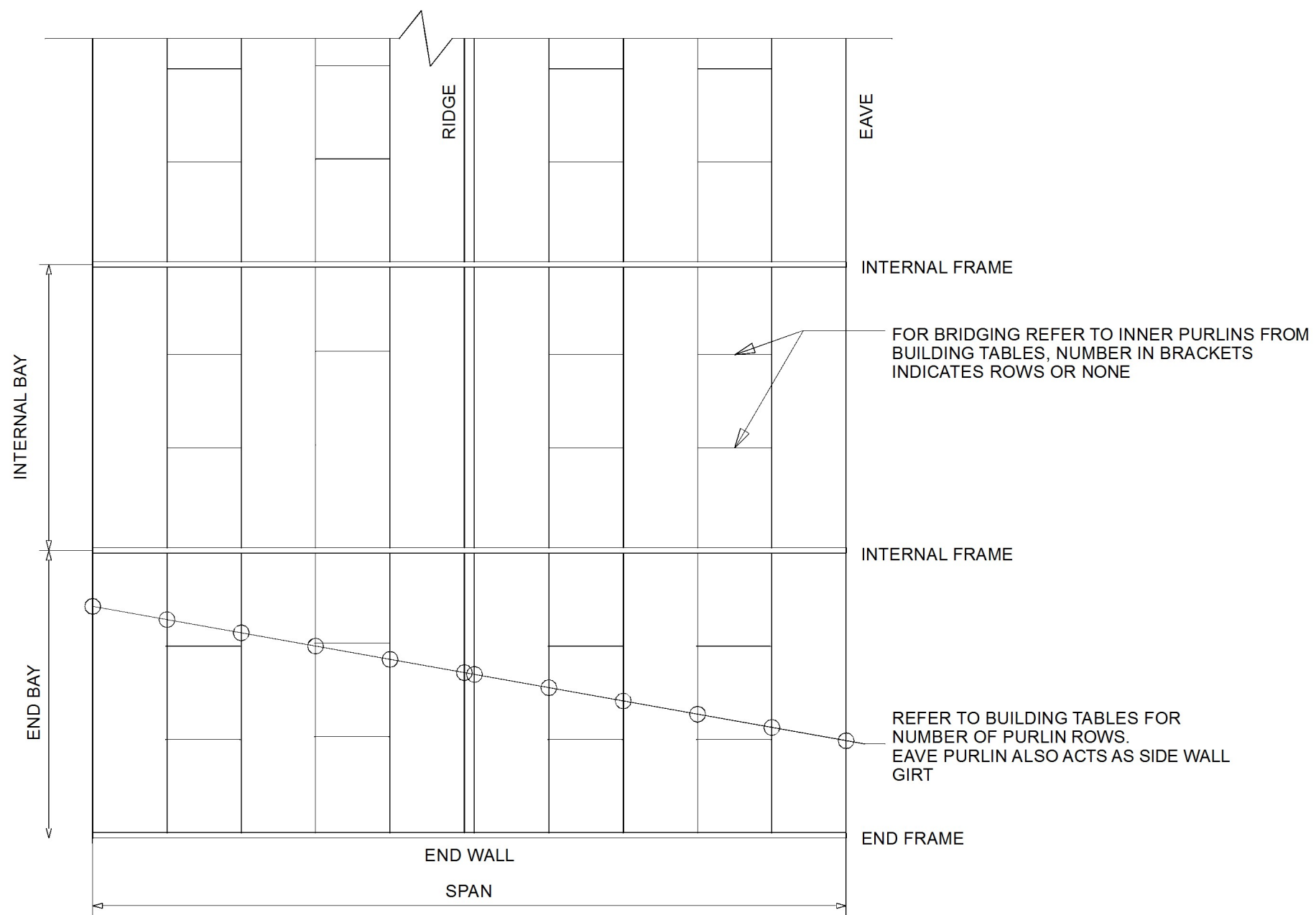
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PORTAL BUILDING

FOUNDATION DETAILS

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NOTE: FOR BRACING REFER TO PAGES TITLED
BRACING DETAILS AND BRACING LAYOUT

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TYPICAL FRAMING PLAN

0 x Framing TypicalRoofPlan



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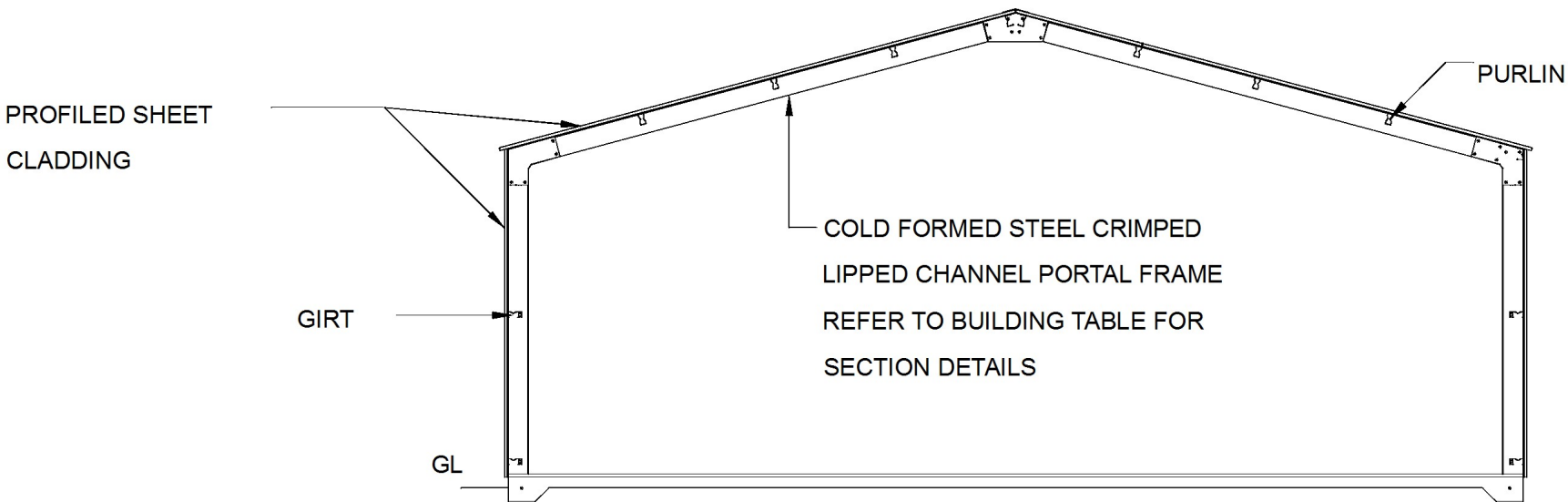
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PORTAL BUILDING
ROOF PLAN

Apex Height (mm): 3989
Wall Height (mm): 3000

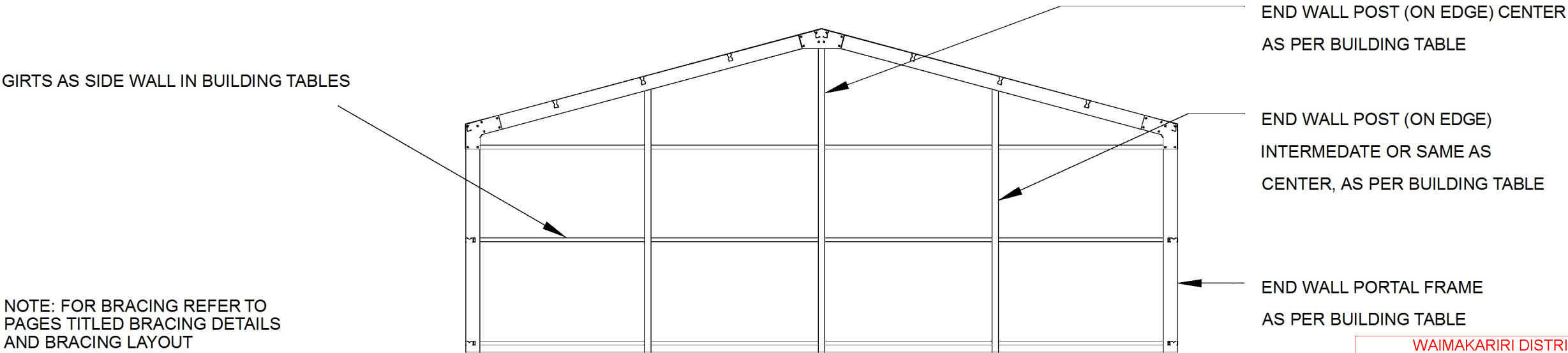
NOTE: For bracing refer to page titled 'Bracing Walls and Roof'.

TYPICAL SECTION MID WALL FRAME



16 x TypicalSectionMidWallFrame-75m

TYPICAL SECTION END WALL FRAME



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22 x TypicalSectionEndWallFrame-75m



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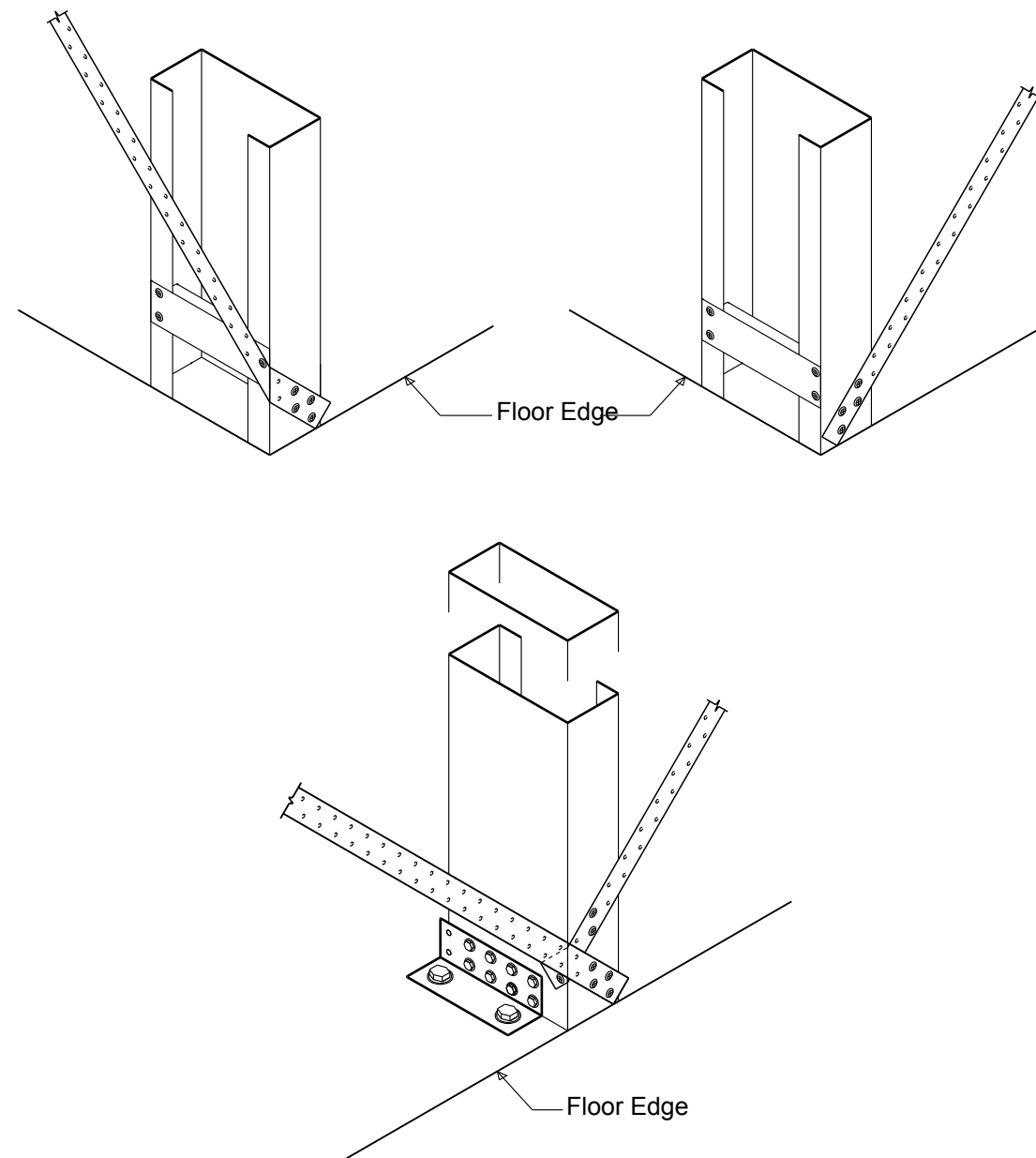
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PORTAL BUILDING
SECTION - END WALL

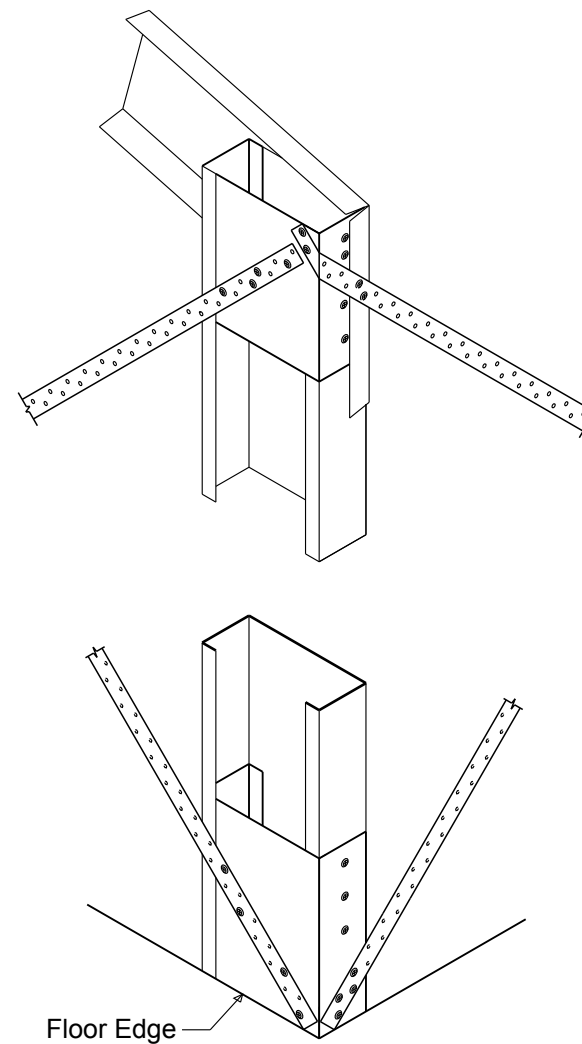
NOTES:

1. Bracing shall be 27x0.55mm G550 steel strap fixed with 4x #10 or #12 tek screws each end.
2. Connection details shown at base of portal leg only. Details similar at top.

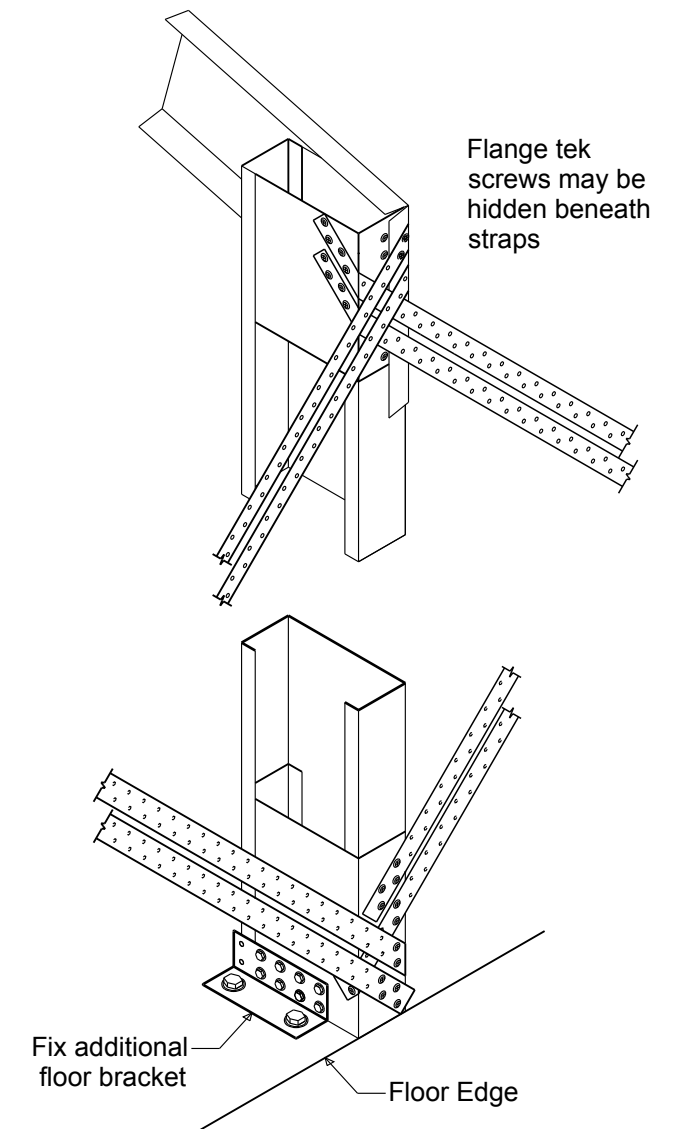


3. Where opposing straps are connected to an endwall portal leg or where a double brace is connected to an unboxed internal portal leg (or wind mullion) fix a 200mm length of boxing with 8x #10 or #12 teks, 4 teks per flange.

Endwall Portal



Internal Portal



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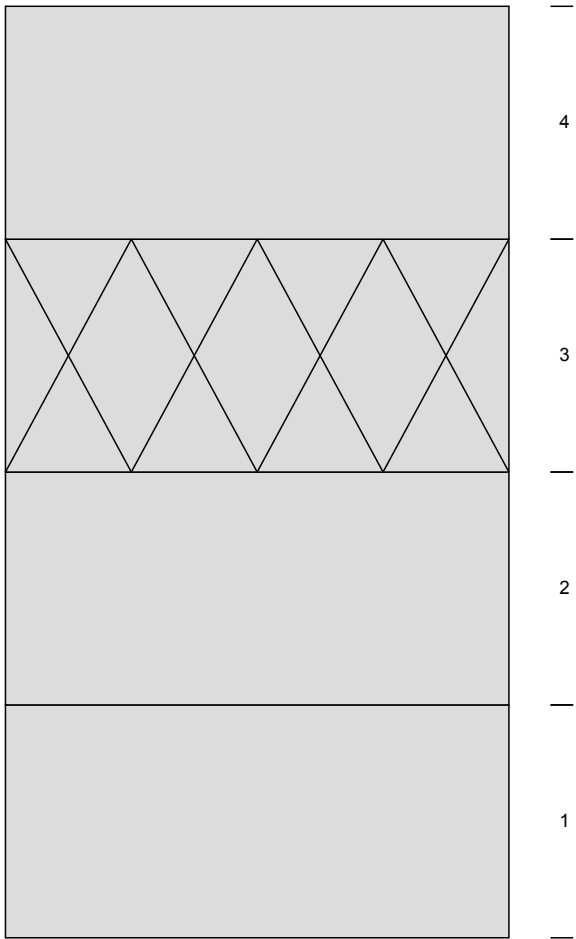
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PORTAL BUILDING

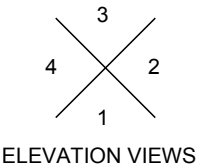
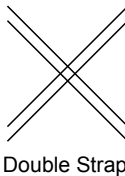
BRACING DETAILS

Page 11 of 16

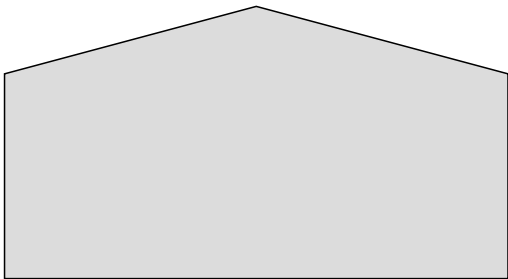
PLAN VIEW:



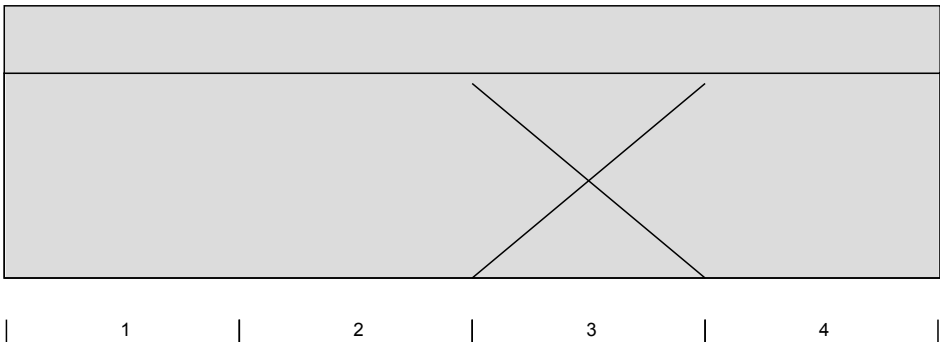
LEGEND:



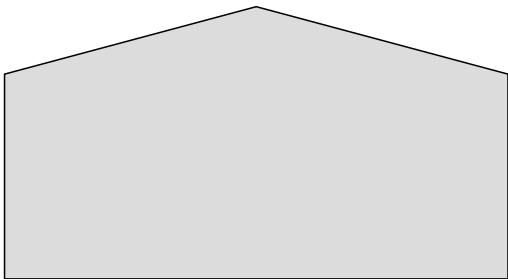
ELEVATION VIEW 1:



ELEVATION VIEW 2:

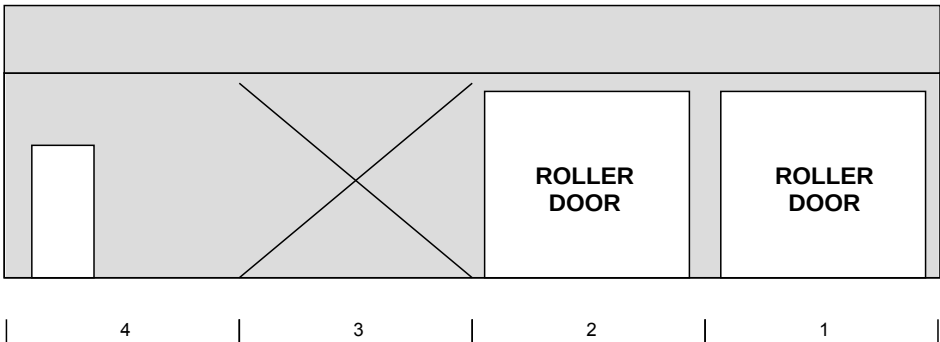


ELEVATION VIEW 3:



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ELEVATION VIEW 4:

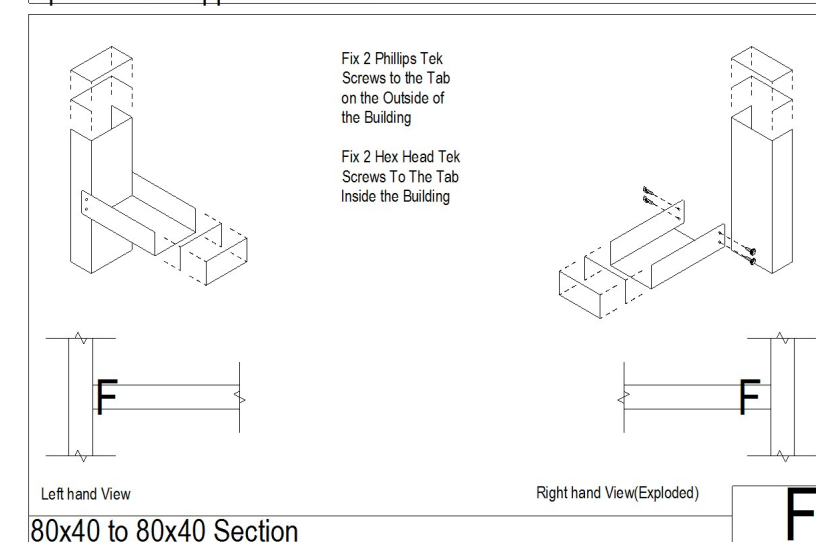
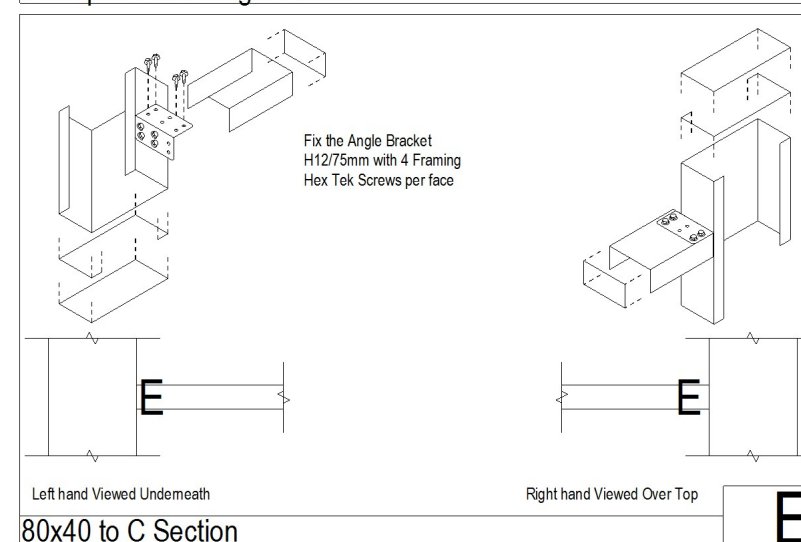
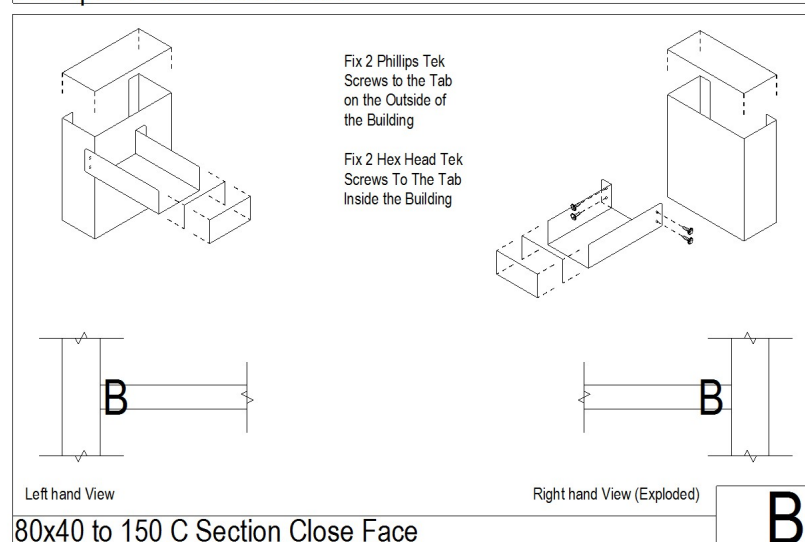
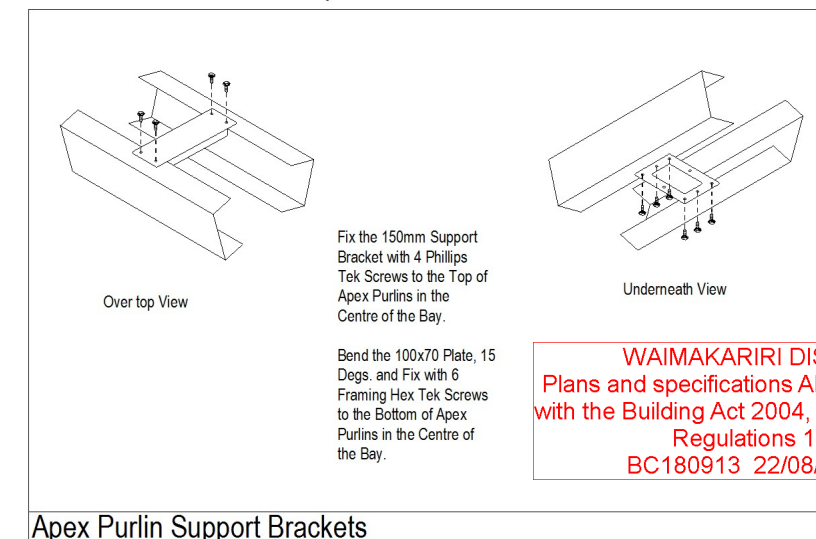
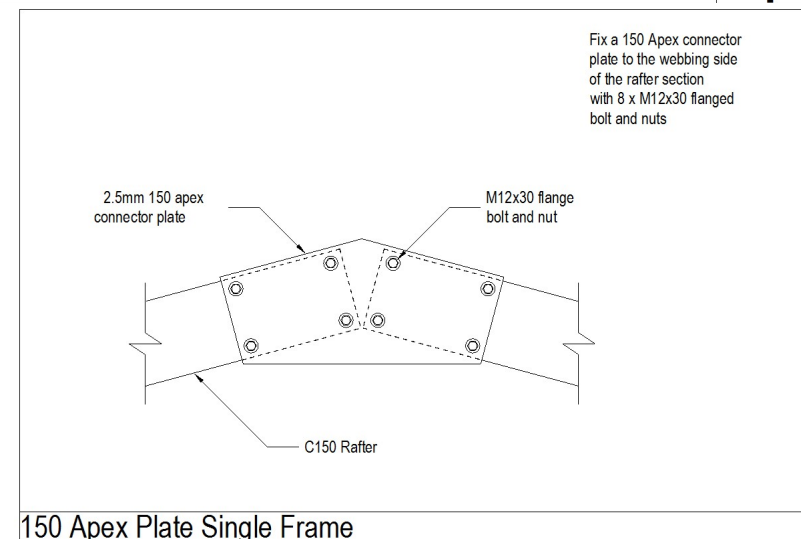
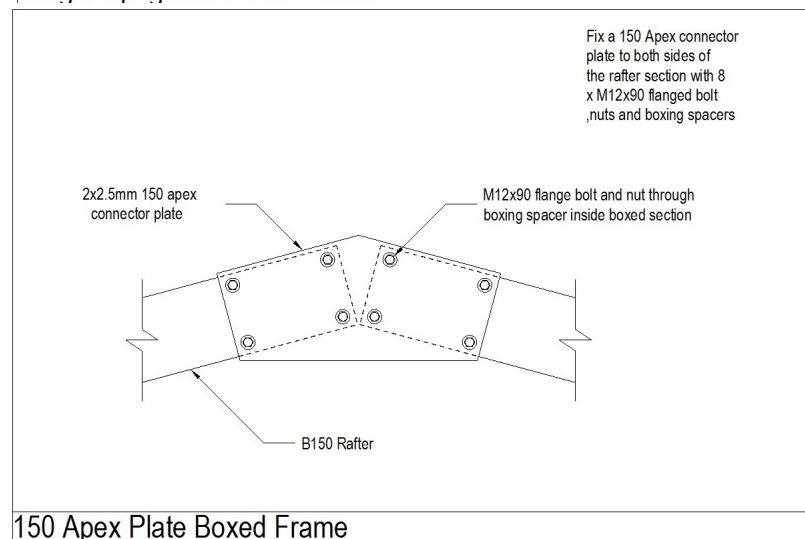
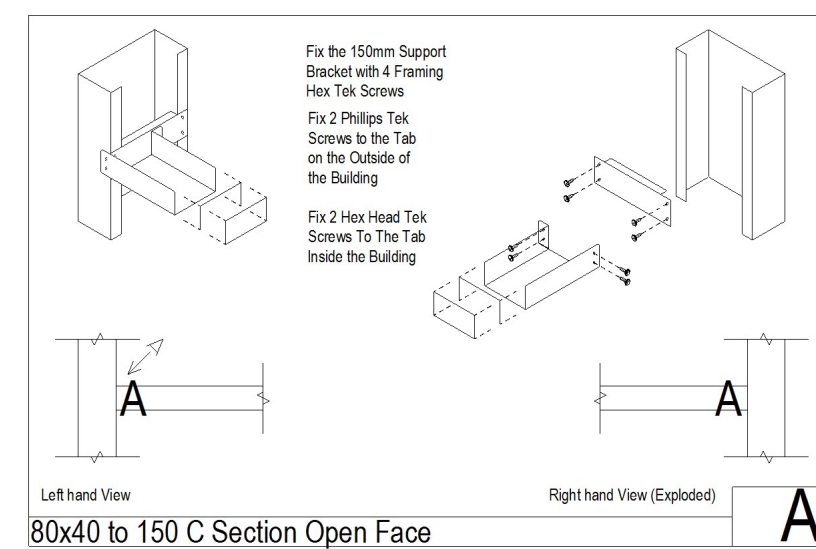
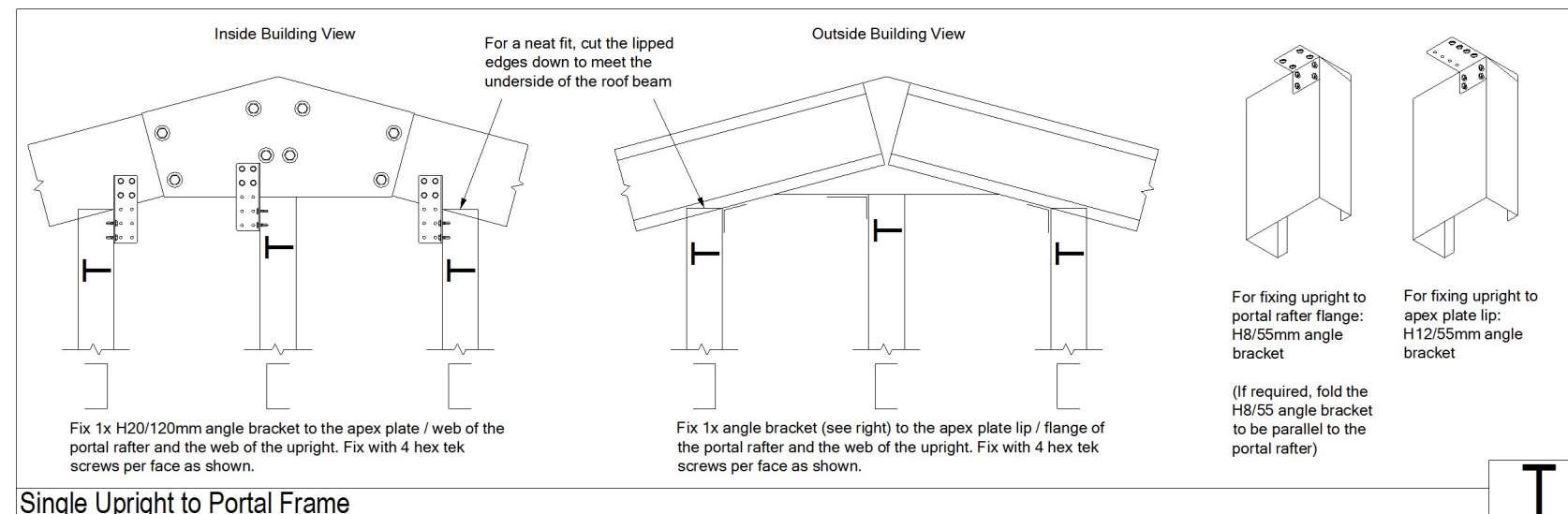


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PORTAL BUILDING
BRACING LAYOUT

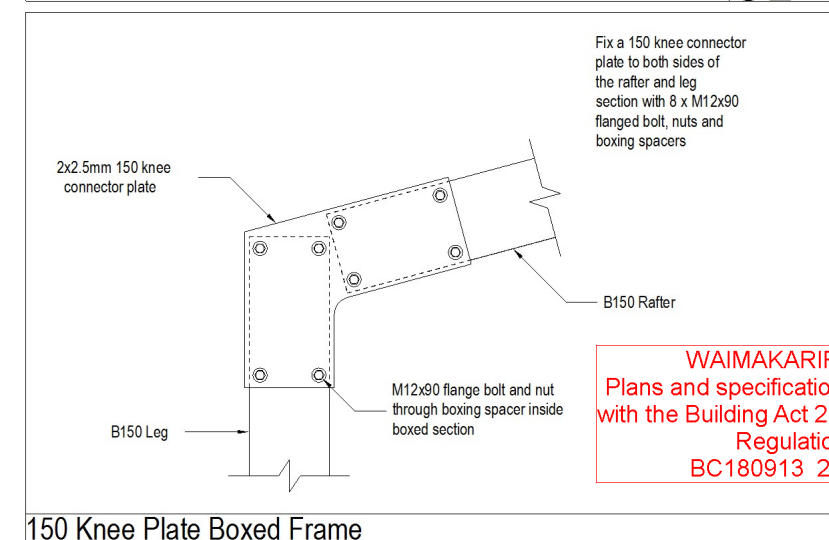
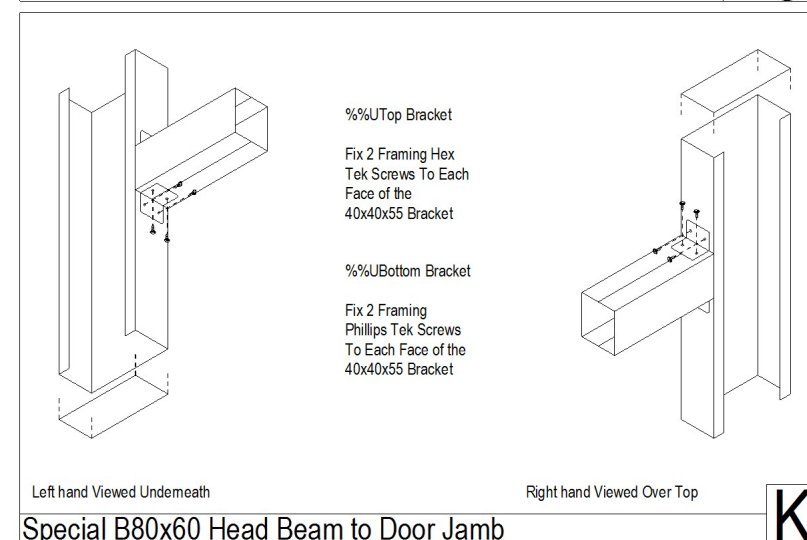
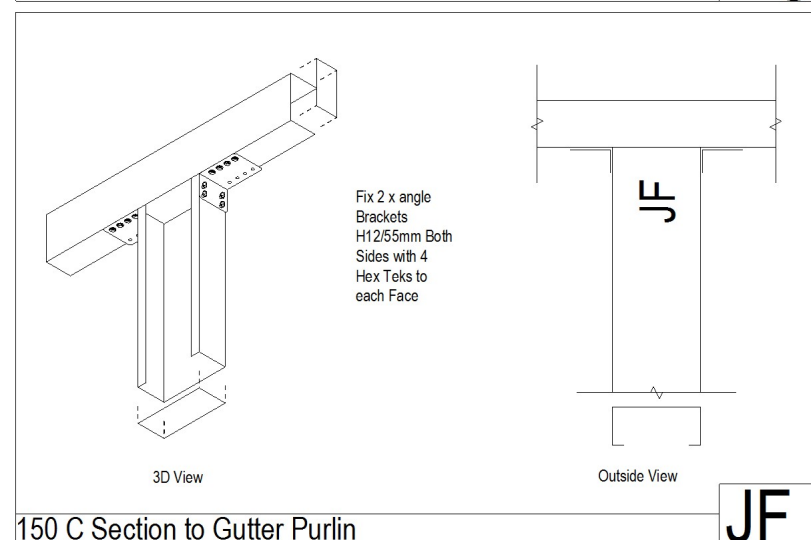
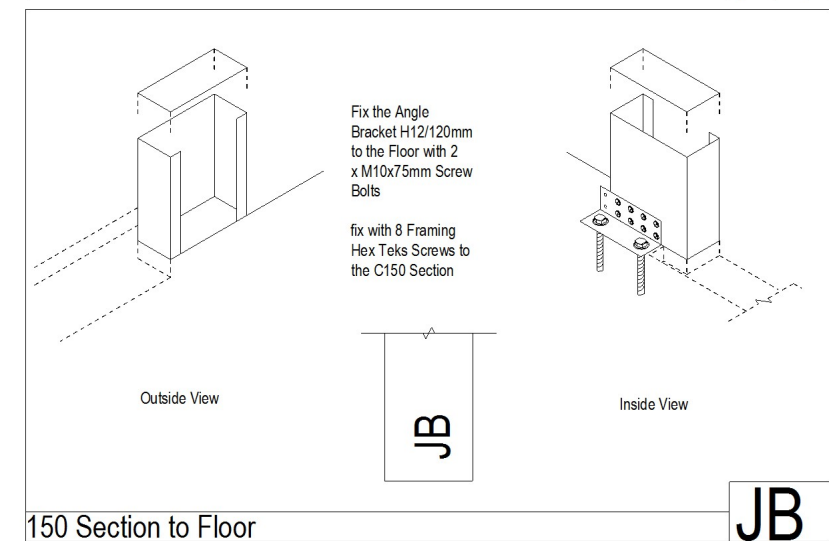
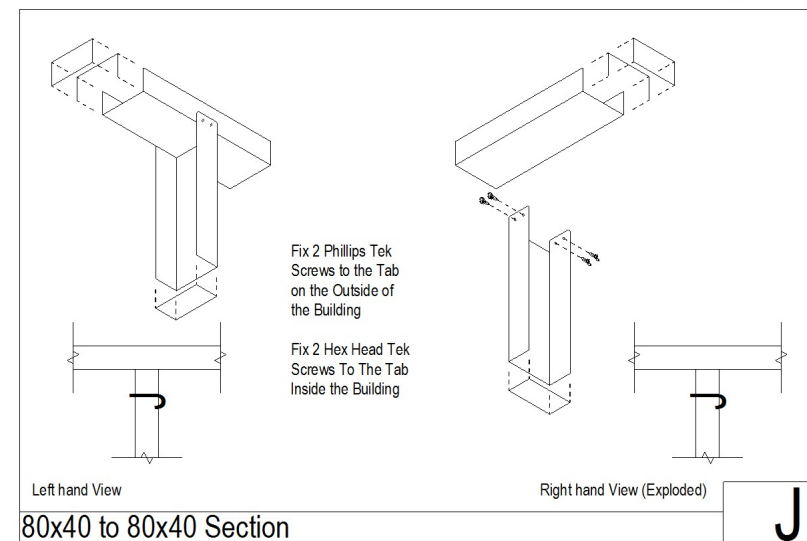
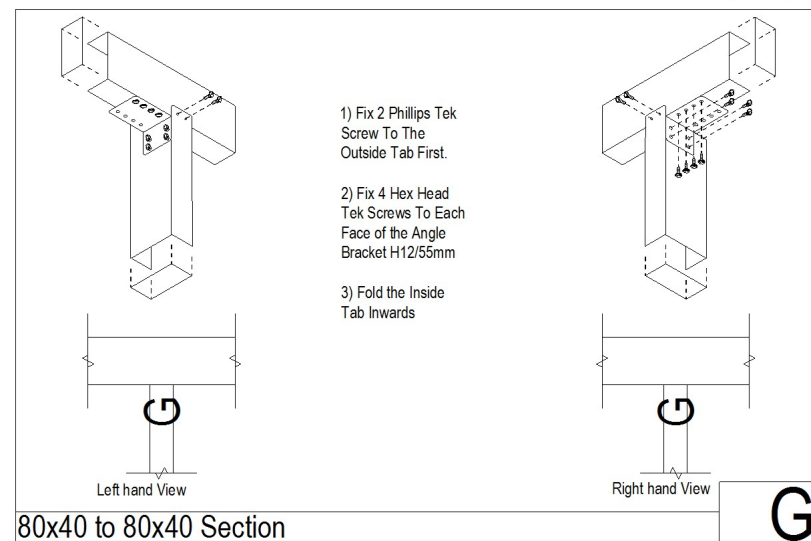
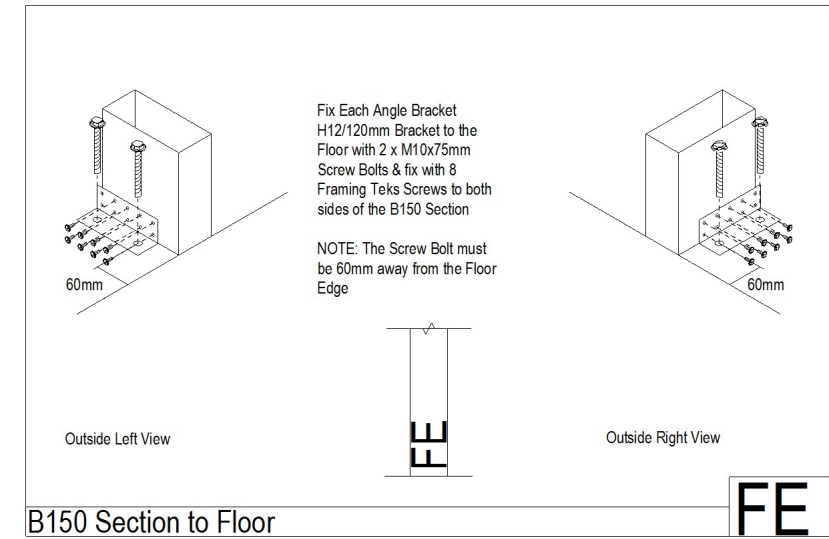
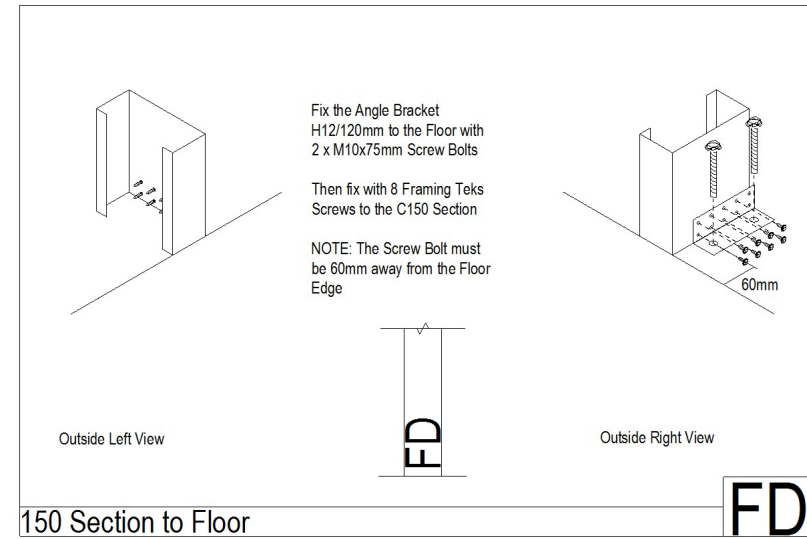
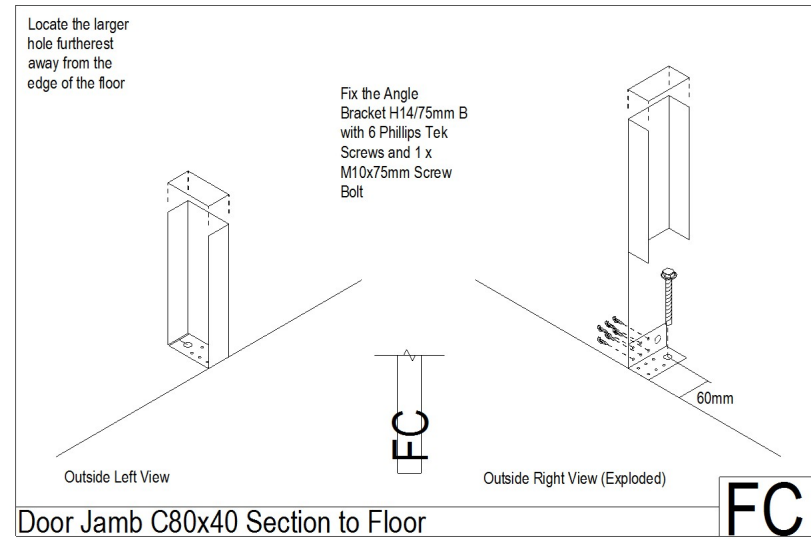


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PORTAL BUILDING
BUILDING DETAILS

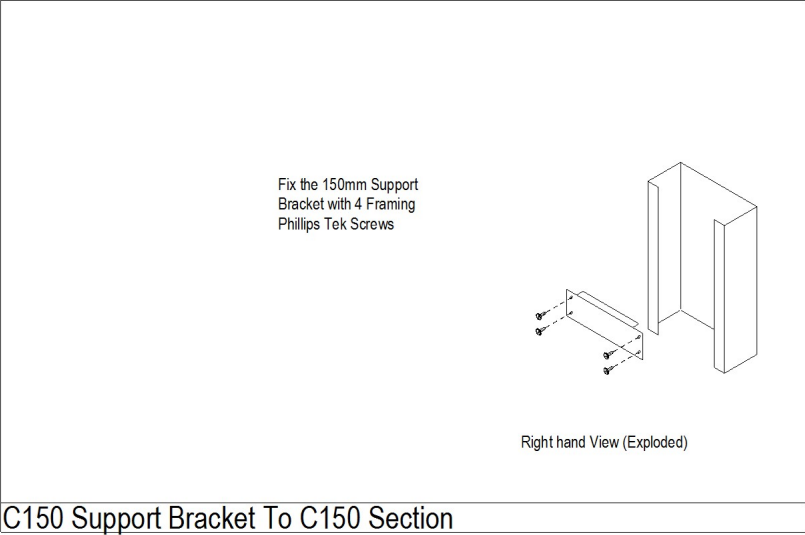
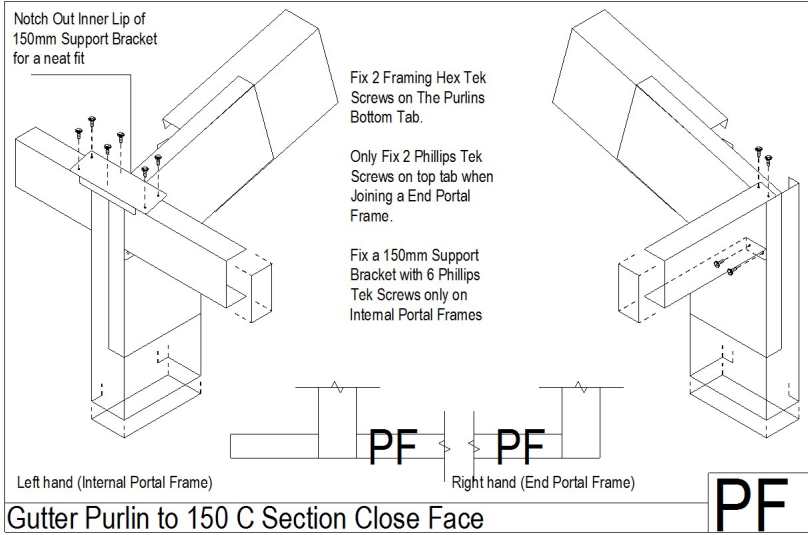
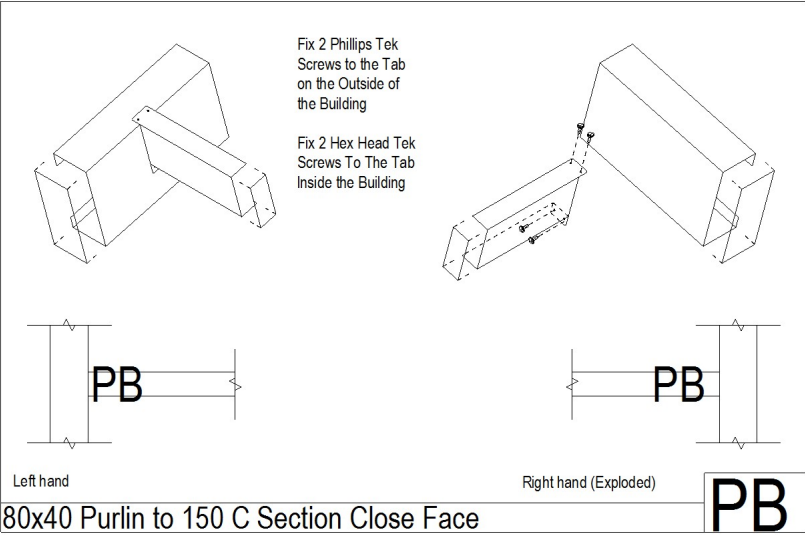
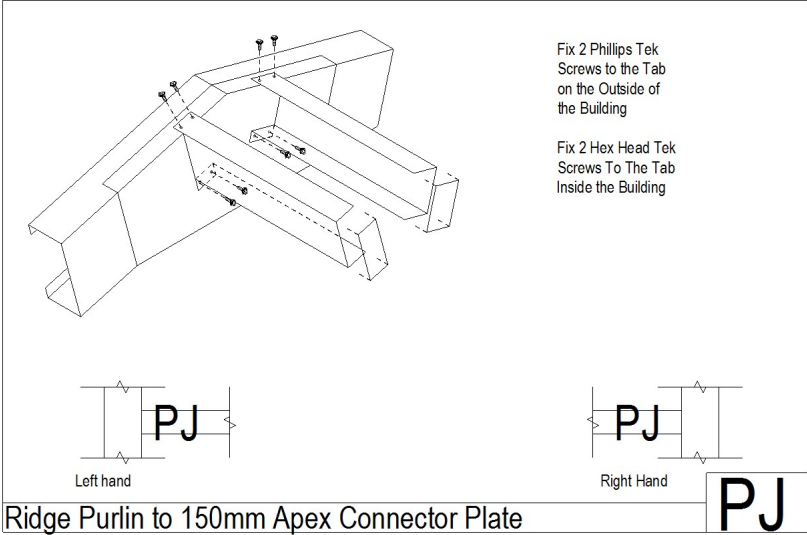
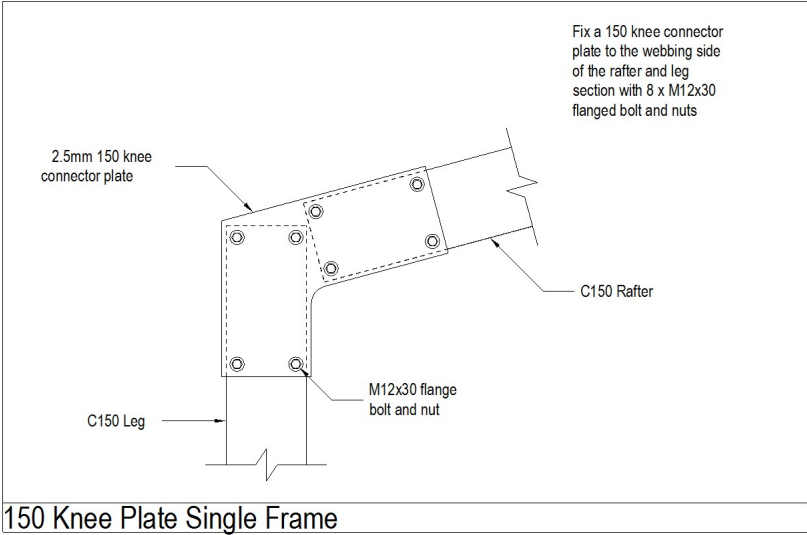


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PORTAL BUILDING
BUILDING DETAILS



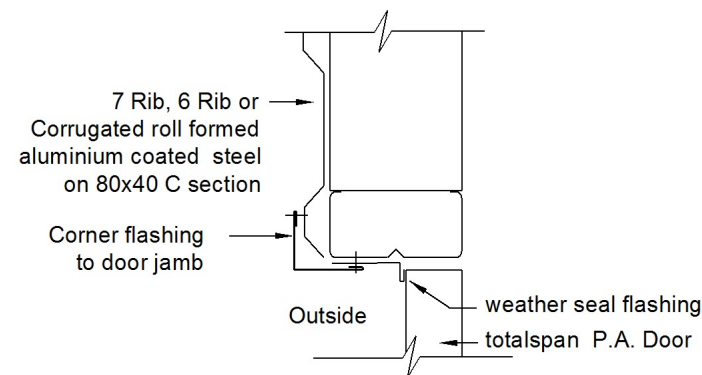
WAIMAKARIRI DISTRICT COUNCIL
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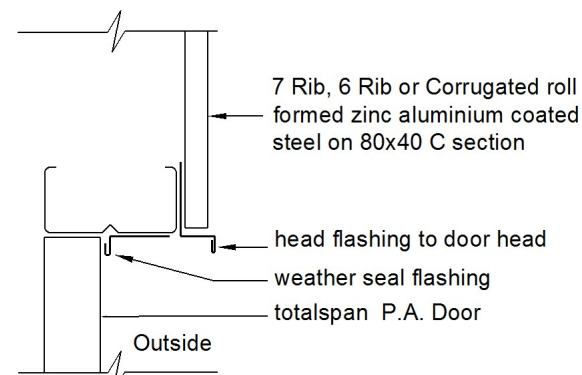
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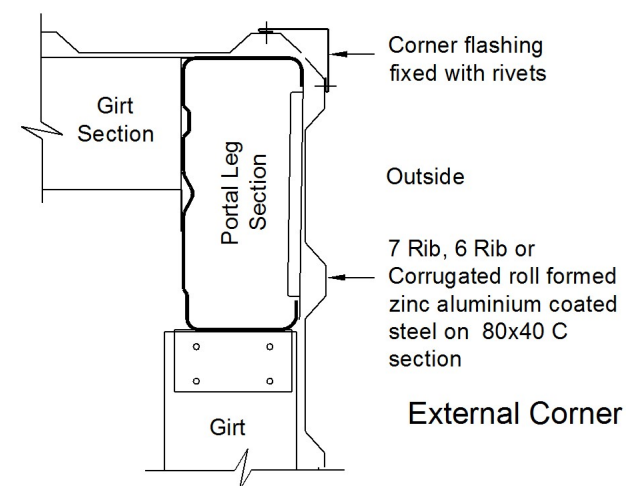
PORTAL BUILDING
BUILDING DETAILS



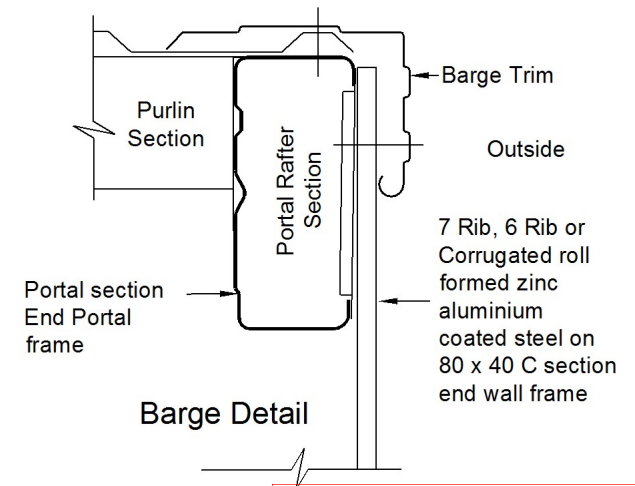
P.A. Door Jamb Detail



P.A. Door Head Detail

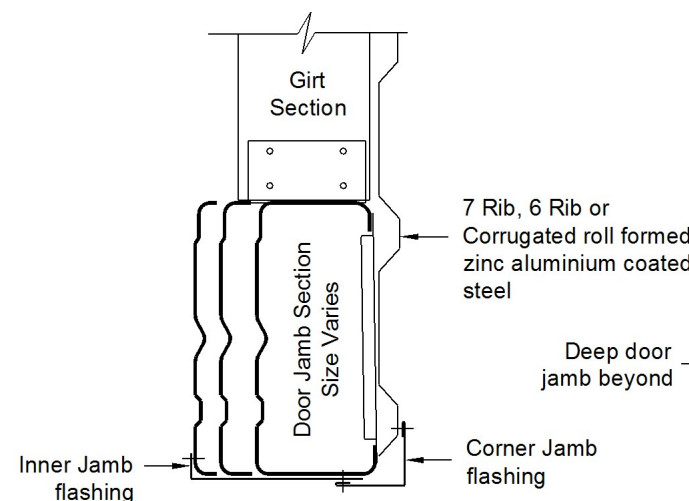


External Corner

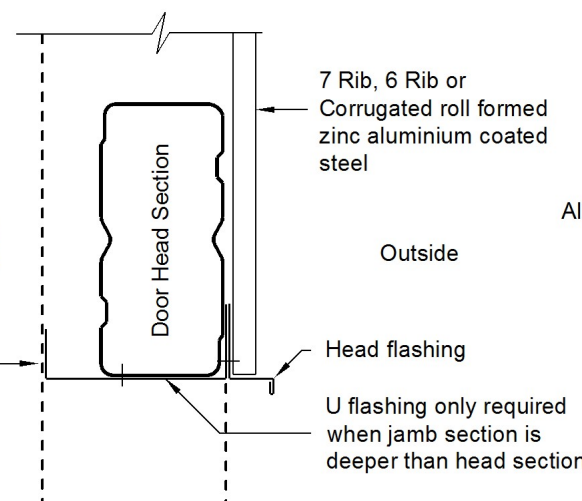


Barge Detail

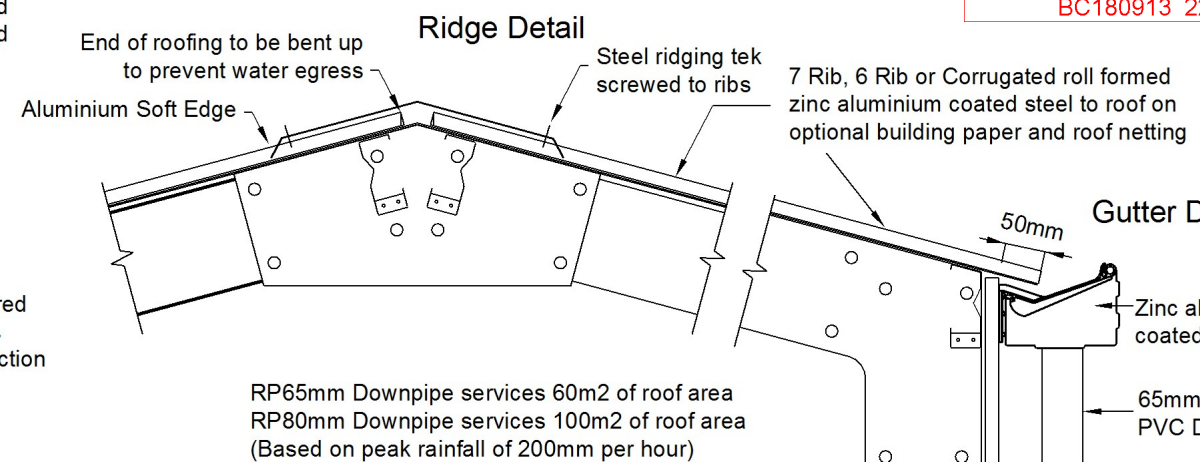
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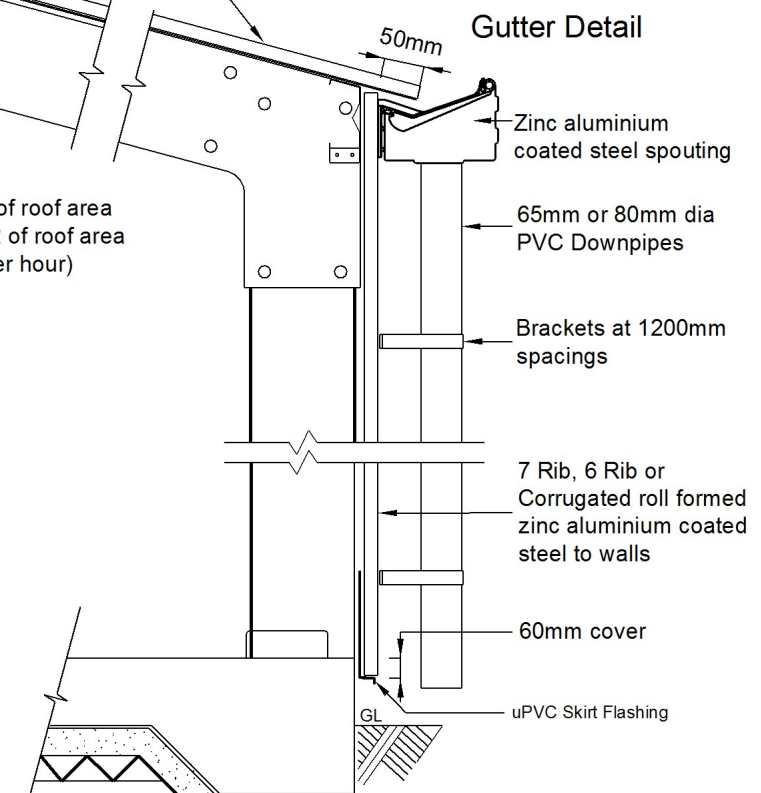
Main Access Door Jamb Detail



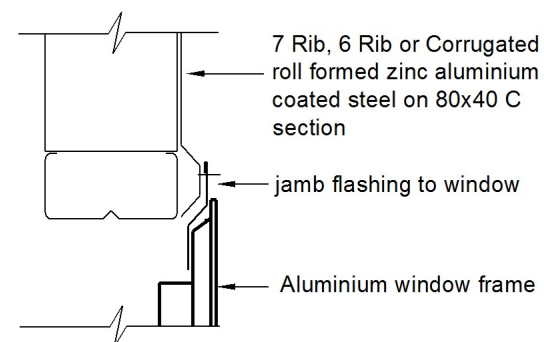
Main Access Door Head Detail



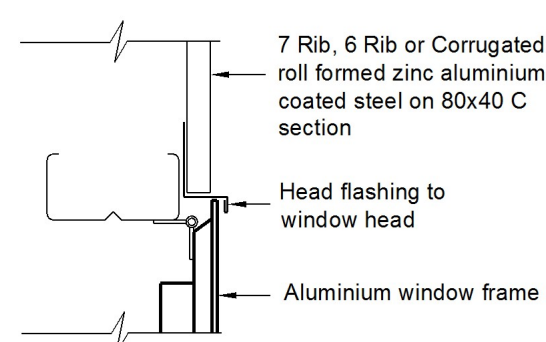
Ridge Detail



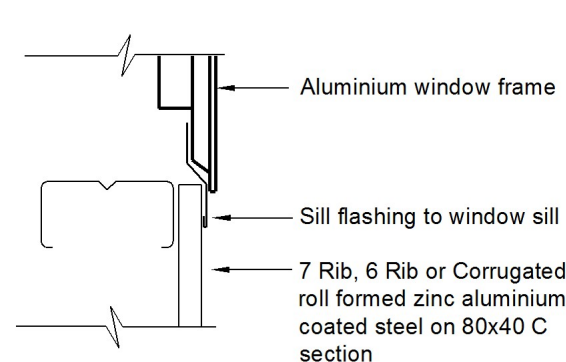
Gutter Detail



Window Jamb Detail



Window Head Detail



Window Sill Detail



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PORTAL BUILDING
FLASHING DETAILS